

ADDENDUM THREE

Lincoln Manor – Building “P” – Renovations
10 Franklin Street, Lincoln, RI

Lincoln Housing Authority
10 Franklin Street Lincoln, Rhode Island

July 24, 2026

NOTICE:

This Addendum modifies, amends and supplements designated part of the CONTRACT DOCUMENTS for the project identified as “Lincoln Manor – Building “P” – Renovations”, Lincoln, Rhode Island, dated June 29, 2026, Addendum No 1, dated July 8, 2026, and Addendum No 2, dated July 14, 2026, are hereby made a part thereof by reference, and shall be as binding as though inserted in its entirety in the locations designated here under. It shall be the responsibility of the Contractor to notify all subcontractor and suppliers he proposes to use for the various parts of the work of any changes or modifications contained in this Addendum. No claim for additional compensation due to lack of knowledge of the contents of this Addendum will be considered.

CONTRACTORS QUESTIONS:

Tower Construction

1. Per HUD 5370-A, a builder's risk policy is required. Please confirm policy is required and if the cost is the responsibility of the owner or the GC?
Answer: Yes, it is required, and per HUD 5370, Section 36 Insurance; Paragraph b; it is the Contractors' responsibility.
2. The project has liquidated damages. At time of award will the owner work with the contractor to establish an agreeable schedule based on long lead items, and the contractor will not be penalized by liquidated damages for any long lead items that we cannot control delivery on?
Answer: Discussions with the Owner and Architect can take place and reasonable accommodations can be made as long as the work is continuing in an acceptable manor.
3. Has the fire review been completed and will the cost be paid by the owner or GC?
Answer: The Fire Review is currently in process, and fee will be taken care of by the Owner.
4. Will permit fees be waived for this project?
Answer: The Town of Lincoln fees are Waived, but any State fees will be the responsibly of the Contractor.
5. Please provide the existing FA system manufacturer?
Answer: Notifier
6. Please confirm the step-up apprenticeship program is not a requirement for this project. If it is a requirement, please confirm what the goal is?
Answer: Not Required
7. Please confirm appliances are supplied and installed by Owner.
Answer: All Refrigerators and Ranges will be supplied and installed by the Owner. New Exhaust Hoods for the Ranges shall be Supplied and Installed by the Contractor.
8. During the site visit, it appears there is paint over spray on the concrete floor. Should we assume grinding the paint off as part of floor prep for new flooring adhesives.
Answer: No, the Over-spray has been removed.

ADDENDUM THREE

9. Spec Section 007300 states the contractor is to perform 45% of the work with their own forces. Can this percentage be reduced due to the project schedule?

Answer: No.

Red Oak Remodeling

1. Proposed exterior wall construction from what I see on the plans does not meet the new energy code of R30. Please advise.

Answer: The 2024 IECC, International Energy Conservation Code for Climate Zone 5, R-Value, shall be: "R-13+R-7.5 ci". Refer to Table C402.1.3.

2. Is Building P on slab or is there a basement or crawl space?

Answer: Slab on Grade

3. What is the existing waste pipe composed of (PVC, Cast Iron, Copper, etc)?

Answer: Cast Iron

4. Will there be an addendum shared with all questions asked by contractors bidding?

Answer: Refer to this Addendum

SPECIFICATIONS:

1. Specification Section 00 42 13 Proposal Form - Remove in its entirety and Insert the attached revised "00 42 13 Proposal Form" which is part of this addendum.
2. Specification Section 01 22 00 Unit Prices - Remove in its entirety and Insert the attached revised "01 22 00 Unit Prices" which is part of this addendum.

DRAWINGS:

1. Drawing S1.0 - Remove in its entirety and Insert the attached revised S1.0 drawing which is part of this addendum.
2. Drawing S2.0 - Remove in its entirety and Insert the attached revised S2.0 drawing which is part of this addendum.
3. Drawing S3.3 - Remove in its entirety and Insert the attached revised S3.3 drawing which is part of this addendum.
4. Drawing A1.0 - Remove in its entirety and Insert the attached revised A1.0 drawing which is part of this addendum.
5. Drawing A1.3 - Remove in its entirety and Insert the attached revised A1.3 drawing which is part of this addendum.
6. Drawing A1.5 - Remove in its entirety and Insert the attached revised A1.5 drawing which is part of this addendum.
7. Drawing A4.0 - Insert the attached drawing A4.0 which is part of this addendum.
8. Drawing A6.0 - Remove in its entirety and Insert the attached revised A6.0 drawing which is part of this addendum.
9. Drawing P0.1 - Remove in its entirety and Insert the attached revised P0.1 drawing which is part of this addendum.
10. Drawing PD1.1 - Remove in its entirety and Insert the attached revised PD1.1 drawing which is part of this addendum.

*****ADDENDUM THREE*****

11. Drawing P1.1 - Remove in its entirety and Insert the attached revised P1.1 drawing which is part of this addendum.
12. Drawing P1.1A - Remove in its entirety and Insert the attached revised P1.1A drawing which is part of this addendum.
13. Drawing M0.1 - Remove in its entirety and Insert the attached revised M0.1 drawing which is part of this addendum.
14. Drawing M2.0 - Remove in its entirety and Insert the attached revised M2.0 drawing which is part of this addendum.
15. Drawing E0.1 - Remove in its entirety and Insert the attached revised E0.1 drawing which is part of this addendum.
16. Drawing ED1.0 - Remove in its entirety and Insert the attached revised ED1.0 drawing which is part of this addendum.
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19. Drawing E2.0 - Remove in its entirety and Insert the attached revised E2.0 drawing which is part of this addendum.
20. Drawing E2.1 - Remove in its entirety and Insert the attached revised E2.1 drawing which is part of this addendum.
21. Drawing E2.2 - Remove in its entirety and Insert the attached revised E2.2 drawing which is part of this addendum.
22. Drawing E3.0 - Remove in its entirety and Insert the attached revised E3.0 drawing which is part of this addendum.
23. Drawing FA1.0 - Remove in its entirety and Insert the attached revised FA1.0 drawing which is part of this addendum.
24. Drawing FA1.1 - Remove in its entirety and Insert the attached revised FA1.1 drawing which is part of this addendum.
25. Drawing FA1.2 - Remove in its entirety and Insert the attached revised FA1.2 drawing which is part of this addendum.
26. Drawing FA1.3 - Remove in its entirety and Insert the attached revised FA1.3 drawing which is part of this addendum.

NOTICE TO ALL CONTRACTORS: Contractors shall call our office to verify number of Addendum issued at least 24 hours in advance of bid submission. Failure to acknowledge receipt of this addendum on the bid form may, at the sole discretion of the Owner, serve as justification to reject bid.
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END OF WRITTEN ADDENDUM

SECTION 00 42 13 – PROPOSAL FORM

Proposal Of: _____(hereinafter called "BIDDER")

Contractor

Address

City

State

Zip

Organized and existing under the laws of the State of _____ doing business as

*

(* Insert "a corporation", a partnership", or "an individual" as applicable.)

Proposal To: Lincoln Housing Authority (hereinafter called "PHA").

1. Pursuant to and in compliance with Advertisement for Bids and the Information for Bidders relating hereto, BIDDER hereby offers to furnish all plant, labor, materials, supplies, equipment and other facilities and things necessary or proper for or incidental to the entire project as required by and in strict accordance with the CONTRACT DOCUMENTS entitled **"Building "P" Renovations at Lincoln Manor", owner Lincoln Housing Authority, 10 Franklin Street, Lincoln, Rhode Island,**
2. **and of all Addenda issued by the PHA and mailed to BIDDER prior to the date of opening of BID, whether received by BIDDER or not, for the sum of:**

Base Bid – Eight One-Bedroom Apartment Building Renovation At Building P

\$		,				,				.		
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(Numeric)

(Written)

(In case of discrepancy, the amount shown in words shall govern.)

(Base Bid includes all allowance. See Allowance Section 01 21 00)

Add Alternate Number One – Four One Bedroom Fully Accessible Apartments At Building P

\$		,				,				.		
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(Numeric)

(Written)

(In case of discrepancy, the amount shown in words shall govern.)

The following ADDENDA have been received. The modifications to the Bid Documents noted therein have been considered and all costs thereto are included in the Bid Sum.

Addendum #.....Dated.....

Addendum #.....Dated.....

Addendum #.....Dated.....

Addendum #.....Dated.....

2. TIME OF COMPLETION

BIDDER hereby agrees to commence work under this contract within 10 days after issuance of a written "NOTICE TO PROCEED" by the PHA and to FULLY complete the base bid scope of work project within time limit of **EIGHTY (80)** calendar days.

3. BID BOND

Enclosed herewith is bid security as required in the Information for Bidders, which is to become the property of the PHA in the event the contract and bond are not executed within the time limit set above, as liquidated damages for delay and additional expenses to the PHA caused thereby.

Accompanying and as part of this Proposal is a bid bond or certified check payable to the PHA in the sum of:

_____ \$_____.

4. BONDS & ACCOMPANYING SUBMITTALS

Performance, Labor and Material Bonds (Assurance of Completion) in an amount equal to 100% of the contract sum are required by the PHA. They shall be executed in such forms, and with such securities that is acceptable to the PHA, and be placed with a Company also acceptable it.

Required Performance, Labor and Material Bond covering the Contract, such will be available from the Surety Company listed below. Cost of bonds are included in the Base bid amount.

BIDDER submits for approval as his surety:

 (Name of Surety)
 a corporation organized under laws of the State of _____.

REPRESENTATIONS, CONDITIONS AND OTHER STATEMENTS OF BIDDERS: As a condition of bidding, the Bidder by submitting and signing this proposal, certifies that the attached H.U.D. Form 5369-A and 2530 have been fully completed and is attached to the BID. IT IS MANDATORY THAT THESE FORMS BE FILLED OUT COMPLETELY AND SUBMITTED WITH BID DOCUMENTS. FAILURE TO COMPLY MAY CONSTITUTE REJECTION OF BID DOCUMENTS.

5. OVERHEAD & PROFIT - ADDITIONAL WORK

BIDDER agrees payment for overhead, supervision, bond, profit and other general expense on extra work (General Conditions) combined shall not exceed the following percentage of cost basis.

To the Contractor for Work performed by his own forces maximum 10 percent of the cost.

To Subcontractors for Work performed his own forces maximum 10 percent of the cost.

To the Contractor or Subcontractor for Work performed by his subcontractors maximum of 5 percent of the cost, not including subcontractor or sub-subcontractor's overhead and profit.

6. ADDITIONAL PROPOSAL PROVISIONS

If written notice of the acceptance of this BID is mailed, telegraphed or delivered to BIDDER within 60 days after the opening of the bids, or any time thereafter before this BID is withdrawn, BIDDER, will within 10 days after such notice, execute and deliver an agreement in the form specified.

The BIDDER agrees that this BID shall be good and may not be withdrawn for a period of 60 calendar days after the scheduled closing time for receiving bids.

BIDDER agrees to comply with all conditions of the contract, as set forth in the Bidding Requirements and Contract Documents.

BIDDER does further declare that no other than herein named have any interest in this proposal.

BIDDER understands that the PHA reserves the right to reject any or all proposal and to accept a proposal most favorable to the interest of the PHA.

By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to its own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any Competitor.

The Bidder warrants that he has carefully examined the site of the Work and that from his own investigations he has satisfied himself as to the nature and location of the Work and the character, quality, quantities of materials and difficulties to be encountered, the kind and extent of equipment and other facilities needed for the performance of the Work, the general and local conditions, and other items which may, in any way, affect the Work or its performance.

7. ALLOWANCES (TO BE INCLUDED IN BASE BID)

No. 1 The Contractor shall include the cost of **TWENTY THOUSAND DOLLARS (\$20,000)** for additional work that may be required and approved by owner and architect. Funds will be drawn from allowances only by change order. At the close-out of Contract, funds remaining in allowances will be credited to Owner by Change Order.

8. UNIT PRICES

The following Unit Prices, if accepted in the award of this Contract, shall be used in establishing the adjustment of Contract Price for additions to or deductions from the Work in accordance with the applicable section of the General Conditions and the Supplementary General Conditions. Unit Prices listed shall include all costs, profit and overhead, and no further surcharges are to be added to any Unit Price item of Work that may be order done. Work omitted from the contract will be calculated at 100 percent of the additional work unit prices. Unit prices are for work above and beyond the base amount indicated on the drawings.

<u>ITEMS OF WORK</u>	<u>UNIT PRICE</u>
1. Prepare slab per manufacturers recommendations to receive "Sika level 02 primer" and "Sika level 35" self-leveling underlayment as manufactured by Sika Corporation, as required prior to installation of floor finish material	\$ _____ /SQ/FT
2. Provide and Install ½" plywood sheathing as required at Roof Framing	\$ _____ /EA
3. Provide and Install Asphalt Shingle Roof System as required at Roof Framing	\$ _____ /SQ/FT
4. Provide and Install Wood Blocking as required at various locations.	\$ _____ /LN/FT

9. NOTICE OF ACCEPTANCE

BIDDER hereby designates at his office to which notice of acceptance may be mailed, telegraphed or delivered:

Name: _____

Company Telephone Number: _____

Company Fax Number: _____

Company E-Mail Address: _____

REQUIREMENT FOR LICENSE NUMBER:

In compliance with the requirements of Rhode Island General Law, Section 5-65-23, my Rhode Island license number for the work to be performed by this firm as prime contractor is:

LICENSE NUMBER: _____

DATED _____

Respectively Submitted,

Name of Firm

SEAL (if bid is by a
corporation)

Signature

Title

END OF SECTION 00 42 13

SECTION 01 22 00 - UNIT PRICES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
 - 1. Section 01 40 00 "Quality Requirements".

1.3 DEFINITIONS

- A. Unit price is an amount incorporated in the Agreement provided it has been accepted by the Owner prior to the award of the Contract, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Except as indicated in preceding subparagraphs, Methods of measurement and payment for unit prices are specified in those Sections.
- C. List of Unit Prices: A schedule of unit prices is included on the "Form of Proposal" Section 00 42 13. Specification sections referenced in the schedule contain requirements for materials described under each unit price.

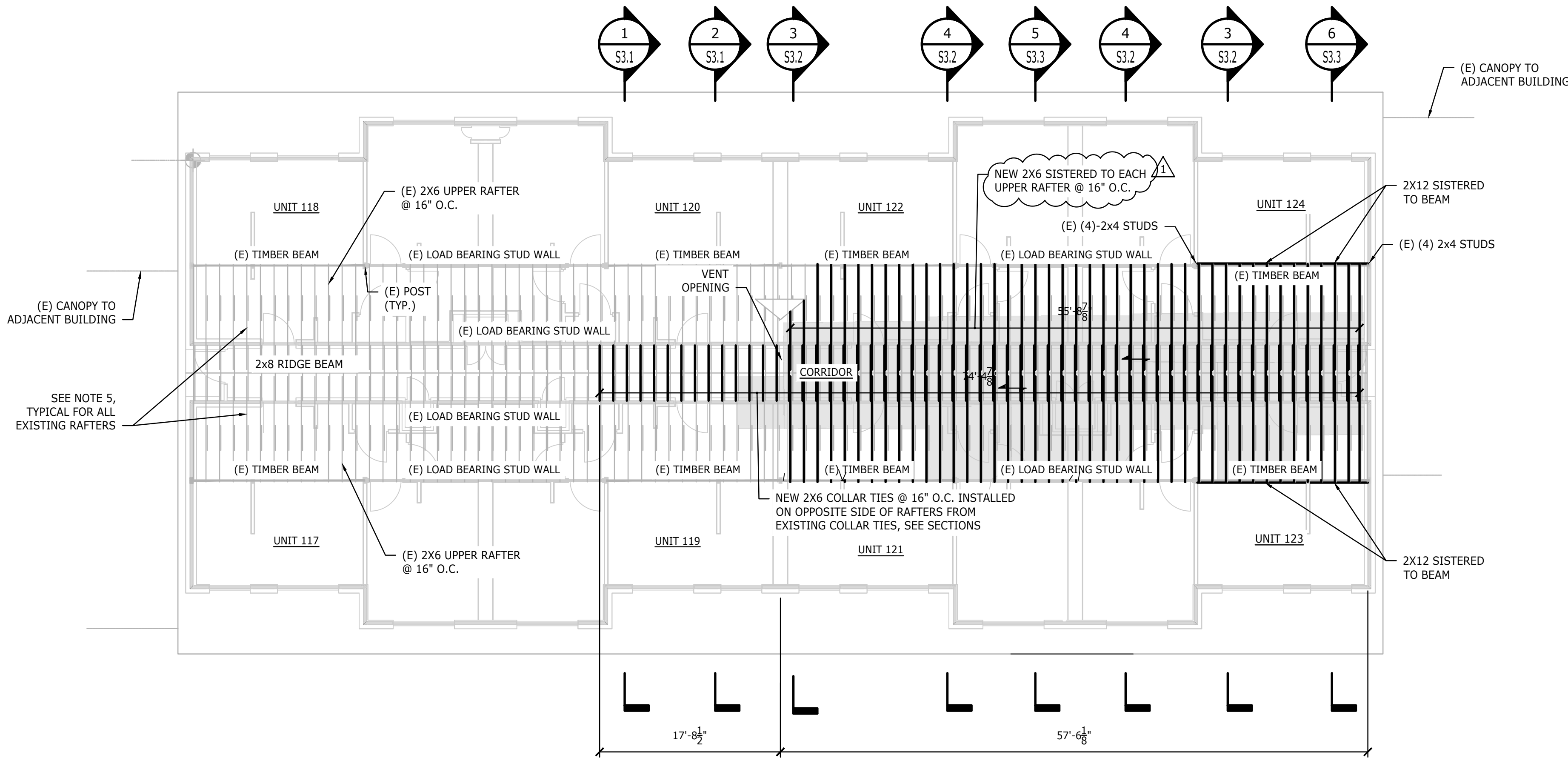
PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

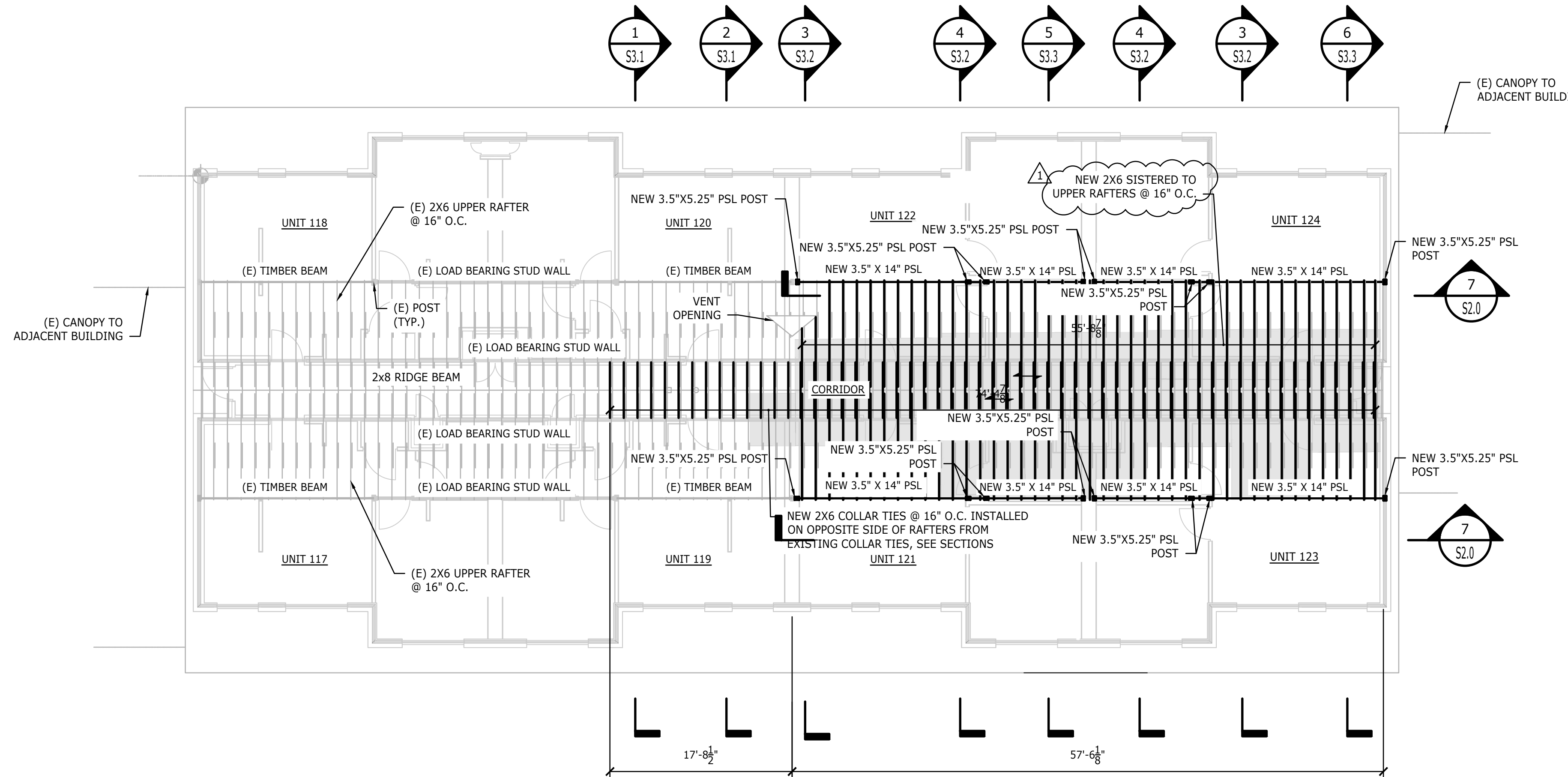
- | | | |
|----|---|----------------|
| 1. | Prepare slab per manufacturers recommendations to receive "Sika level 02 primer" and "Sika level 35" self-leveling underlayment as manufactured by Sika Corporation, as required prior to installation of floor finish material | \$ _____/SQ/FT |
| 2. | Provide and Install 1/2" plywood sheathing as required at Roof Framing | \$ _____/EA |
| 3. | Provide and Install Asphalt Shingle Roof System as required at Roof Framing | \$ _____/SQ/FT |
| 4. | Provide and Install Wood Blocking as required In various locations | \$ _____/LN/FT |

END OF SECTION 01 22 00



BUILDING P - LINCOLN MANOR - UPPER ROOF FRAMING PLAN (BASE BID)

SCALE: 1/8"=1'-0"



BUILDING P - LINCOLN MANOR - UPPER ROOF FRAMING PLAN (ALTERNATE No.1)

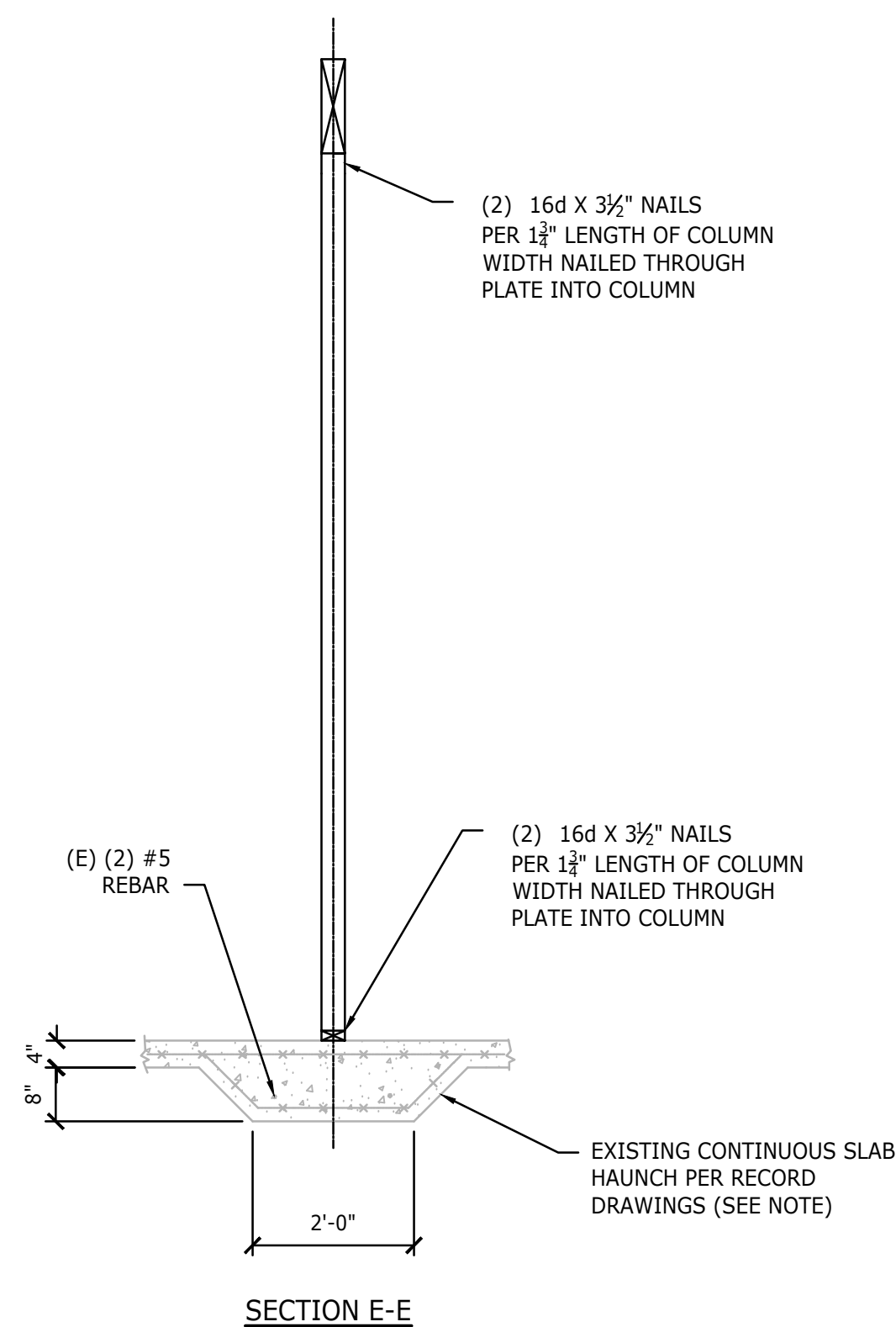
SCALE: 1/8"=1'-0"

NOTES:

- SOME NON-LOAD BEARING WALLS NOT SHOWN FOR CLARITY.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
- NEW SHEATHING TO BE 1/2" PLYWOOD APA 1-09 RATING 32/16, EXPOSURE 1 GRADE, FASTENED WITH 8d X 2 1/2" GALV. COMMON NAIL @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS. NAILS TO BE SPACED 6" O.C. AT INTERMEDIATE SUPPORTS AT OVERHANGS.
- INSTALL H2-5A (GALV.) HURRICANE STRAP BY SIMPSON OR APPROVED EQUIVALENT AT ALL NEW AND EXISTING RAFTER AND TRUSS BEARING LOCATIONS.
- INSTALL NEW 2x4 (SET VERTICAL) ALONG UNDERSIDE OF ALL EXISTING RAFTERS FOR INSULATION, COORDINATE WITH ARCHITECTURAL DRAWINGS. FASTEN WITH 6" LONG HEADLOK SCREWS (OR EQUAL) AT 3'-0" ON-CENTER ALONG 2x4. REFER TO SECTION A-A ON DRAWING S3.1 FOR CONFIGURATION.

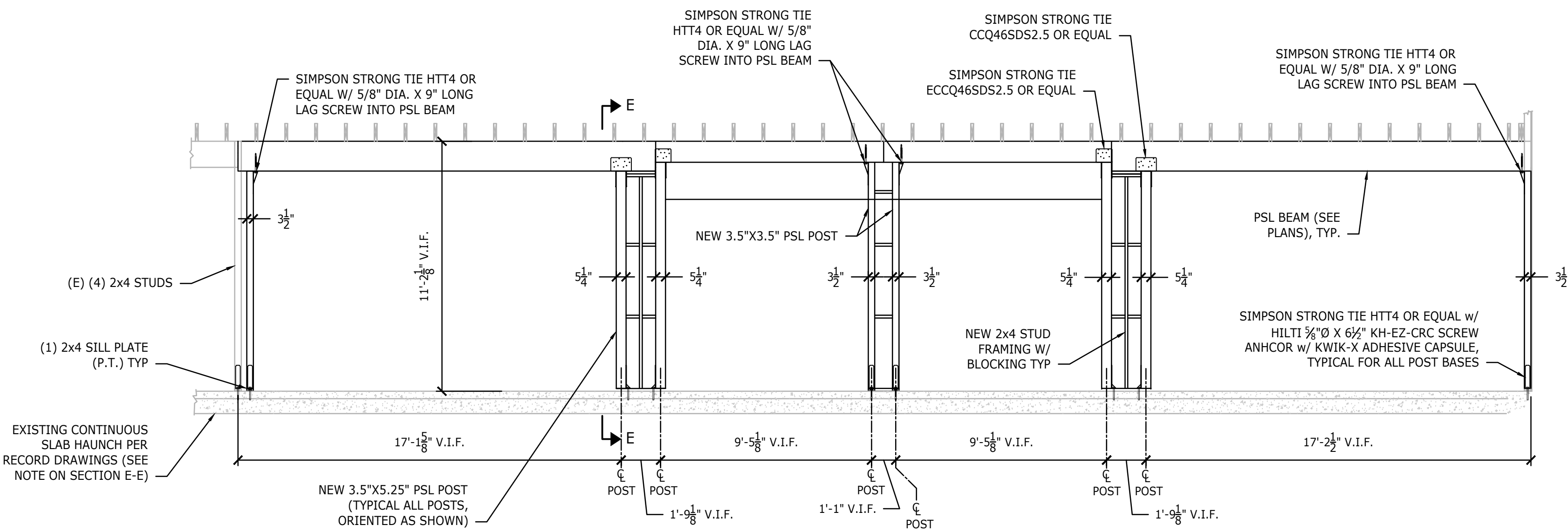
LEGEND:

- INDICATES LIMITS OF NEW SHEATHING (SEE NOTE 3)
- INDICATES SPAN DIRECTION OF NEW SHEATHING
- INDICATES EXISTING STRUCTURE
- INDICATES NEW FRAMING MEMBER
- INDICATES NEW LOAD-BEARING STUD WALL



NOTE:

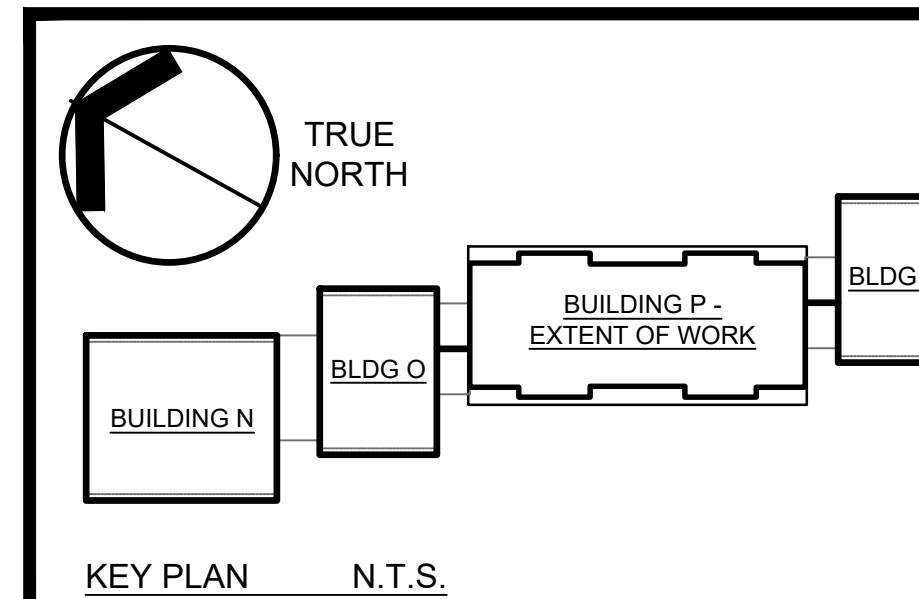
CONTRACTOR SHALL SCAN EXISTING SLAB WITH GROUND-PENETRATING RADAR TO VERIFY PRESENCE OF CONTINUOUS HAUNCHED SLAB AS SHOWN. SCANNING SHALL OCCUR PRIOR TO INSTALLATION OF NEW FRAMING. NOTIFY ENGINEER FOR DIRECTION ON HOW TO PROCEED IF HAUNCH IS NOT FOUND OR IF HAUNCH HAS DIFFERENT DIMENSIONS THAN THOSE SHOWN.



- NOTES:**
- ALL COMPONENTS AND CONNECTORS SHALL BE GALVANIZED

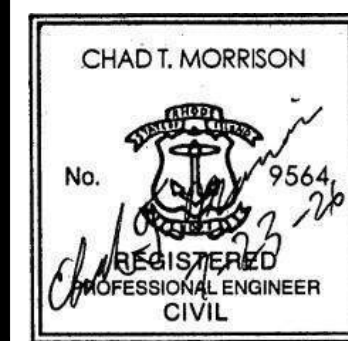
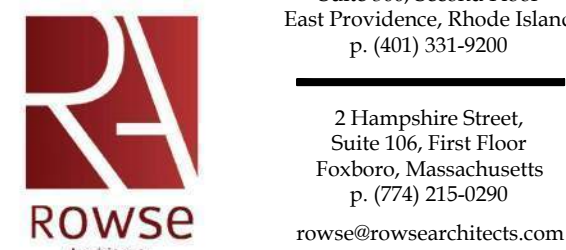
ELEVATION 7

SCALE: 1/4"=1'-0"



GENERAL NOTES

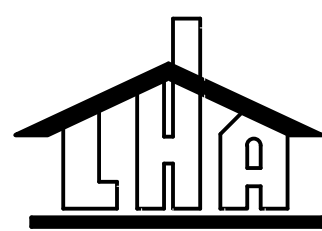
- EXISTING CONDITIONS WERE OBTAINED FROM DRAWINGS AND DATA PROVIDED BY THE OWNER AND A/E FIELD SURVEY. NO WARRANTY OF ACTUAL CONDITIONS IS INTENDED BY ARCHITECT OR OWNER. CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING CONDITIONS WITH NEW WORK PRIOR TO BID, START OF CONSTRUCTION OR ANY FABRICATION.
- CONTRACTOR SHALL VISIT SITE PRIOR TO BID AND CAREFULLY INVESTIGATE AND EXAMINE THE AREA OF WORK SO AS TO SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK. CONTRACTOR TO NOTE THE CHARACTER, QUALITY, QUANTITIES OF MATERIALS REQUIRED AND DIFFICULTIES TO BE ENCOUNTERED, THE KIND AND EXTENT OF EQUIPMENT AND FACILITIES NEEDED FOR PERFORMANCE OF THE WORK AND OTHER ITEMS WHICH MAY, IN ANY WAY, AFFECT THE WORK OR CONTRACTOR'S PERFORMANCE.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- NO EXITS SHALL BE CLOSED WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND LOCAL AUTHORITIES HAVING JURISDICTION.
- THE BUILDING WILL BE OCCUPIED DURING ALL OF THE CONSTRUCTION PROCESS. THE CONSTRUCTION SCHEDULE SHALL BE DEVELOPED WITH THE UNDERSTANDING THAT THE BUILDING IS OCCUPIED AND THAT IT CAN NEITHER BE CLOSED NOR CAN THE OWNER'S OPERATIONS STOP.



OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS AUTHORIZATION OF THE ARCHITECT.

Date: JUNE 8, 2026		
Drawn by: MSS Proj. Mgr.: KMC		
Revisions		
No.	Date	Description
1	7/24/26	ADDENDUM 3

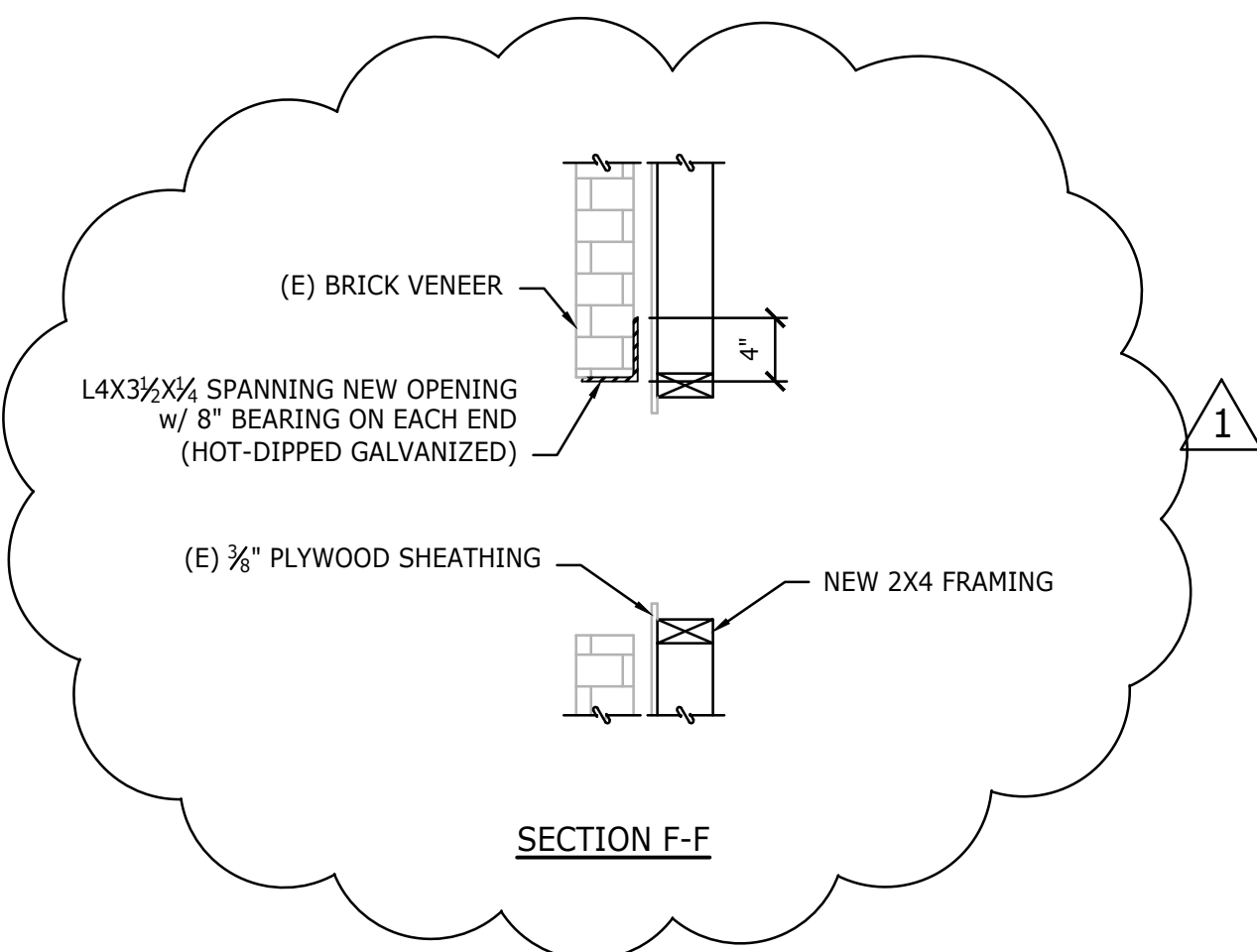
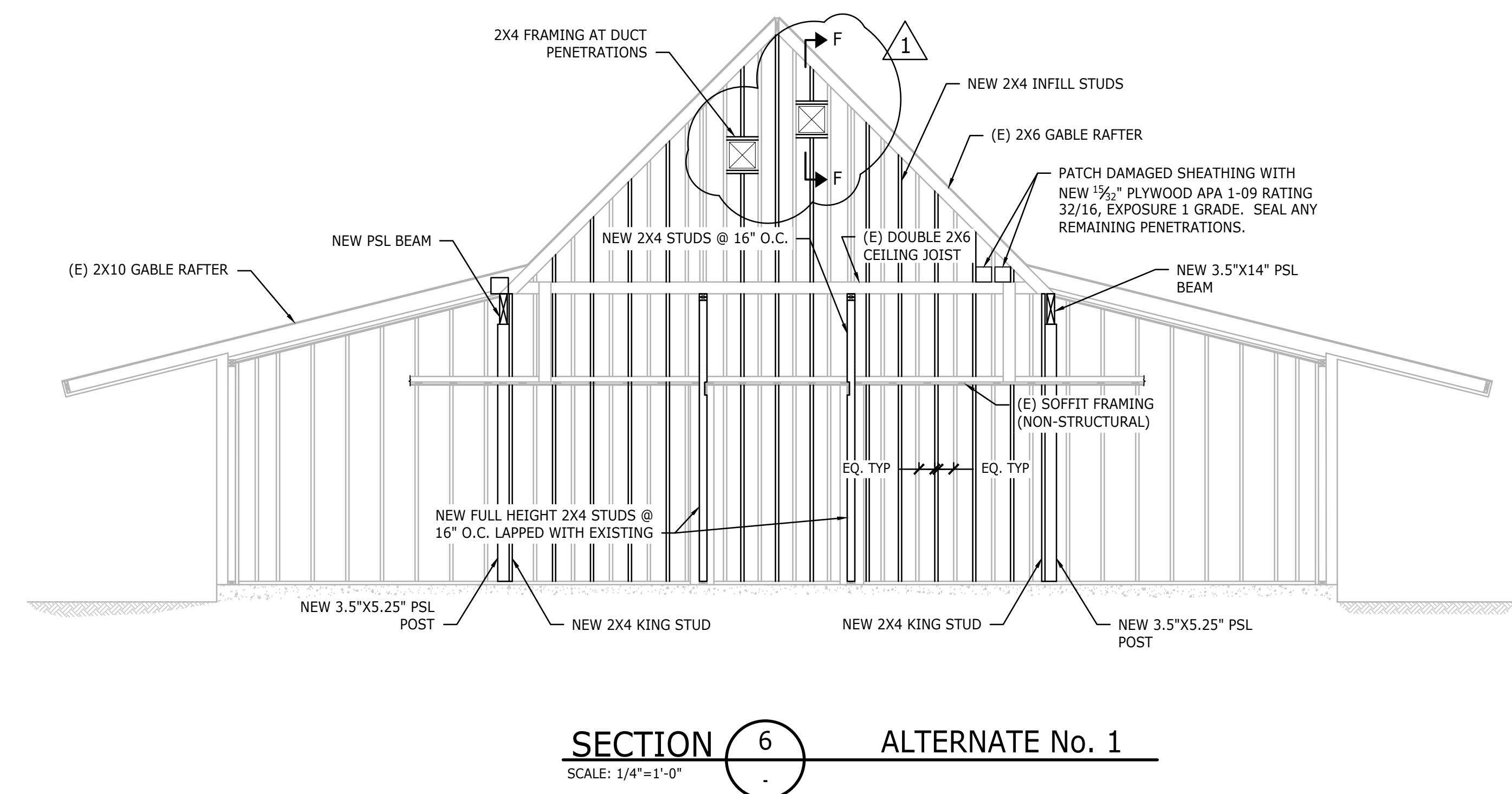
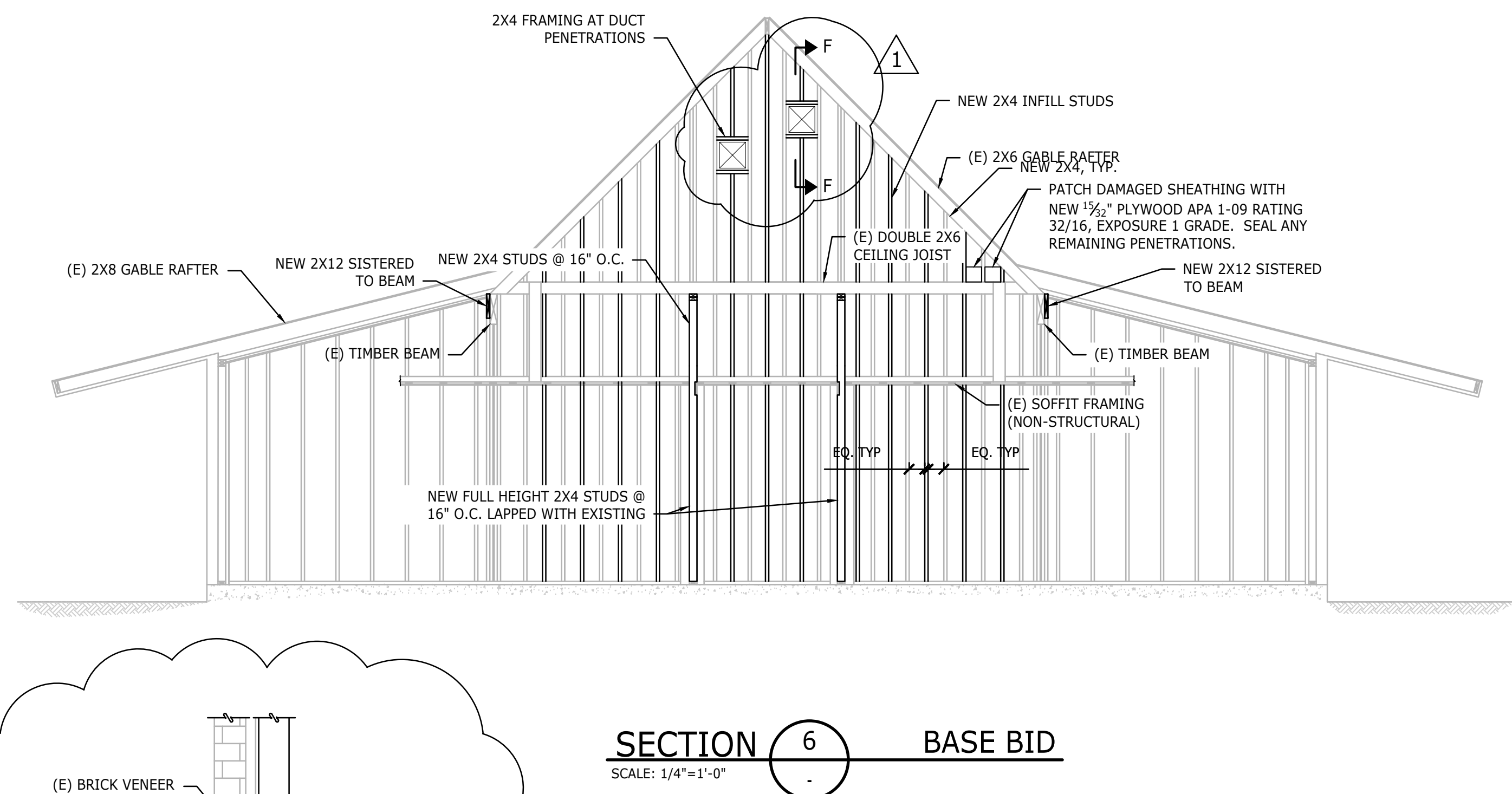
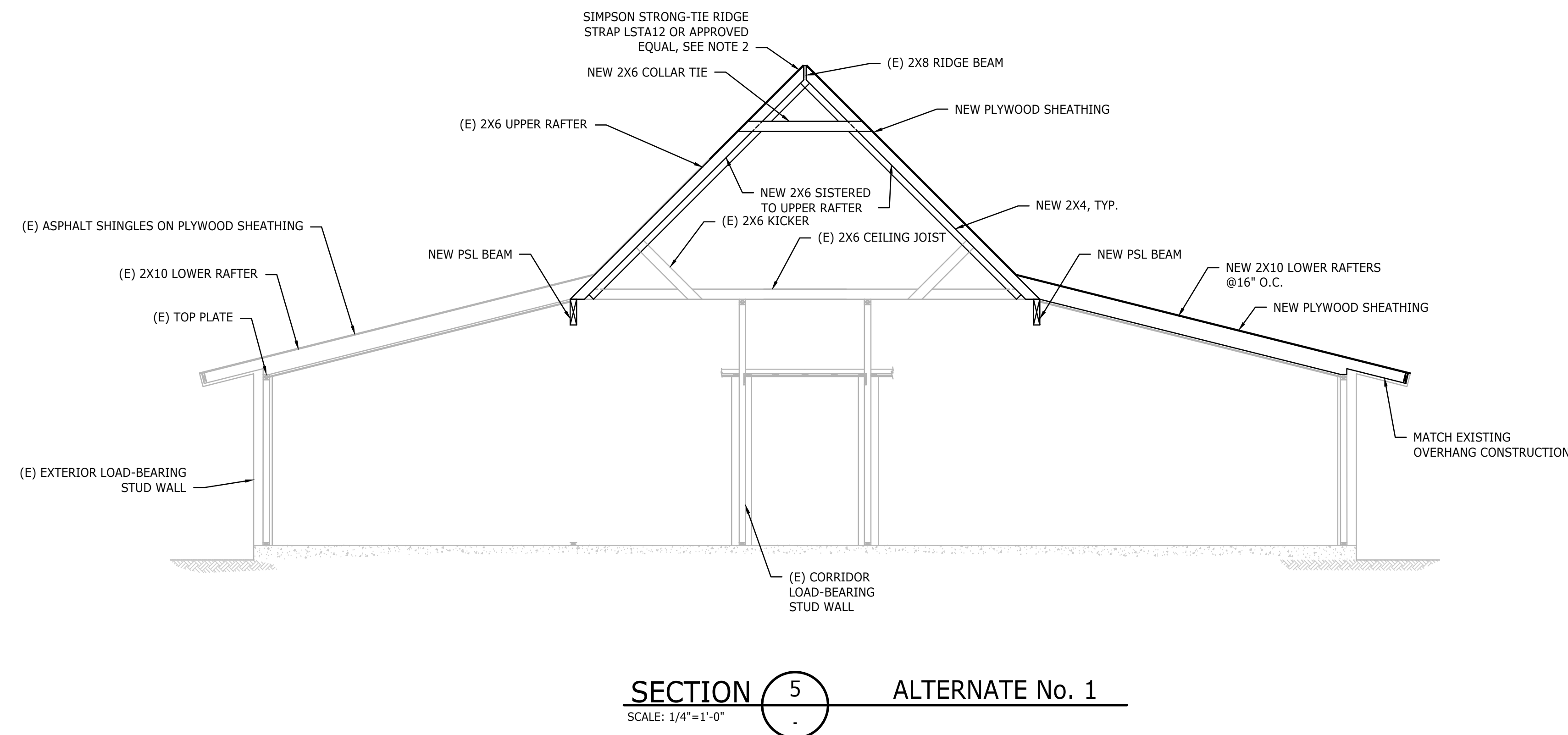
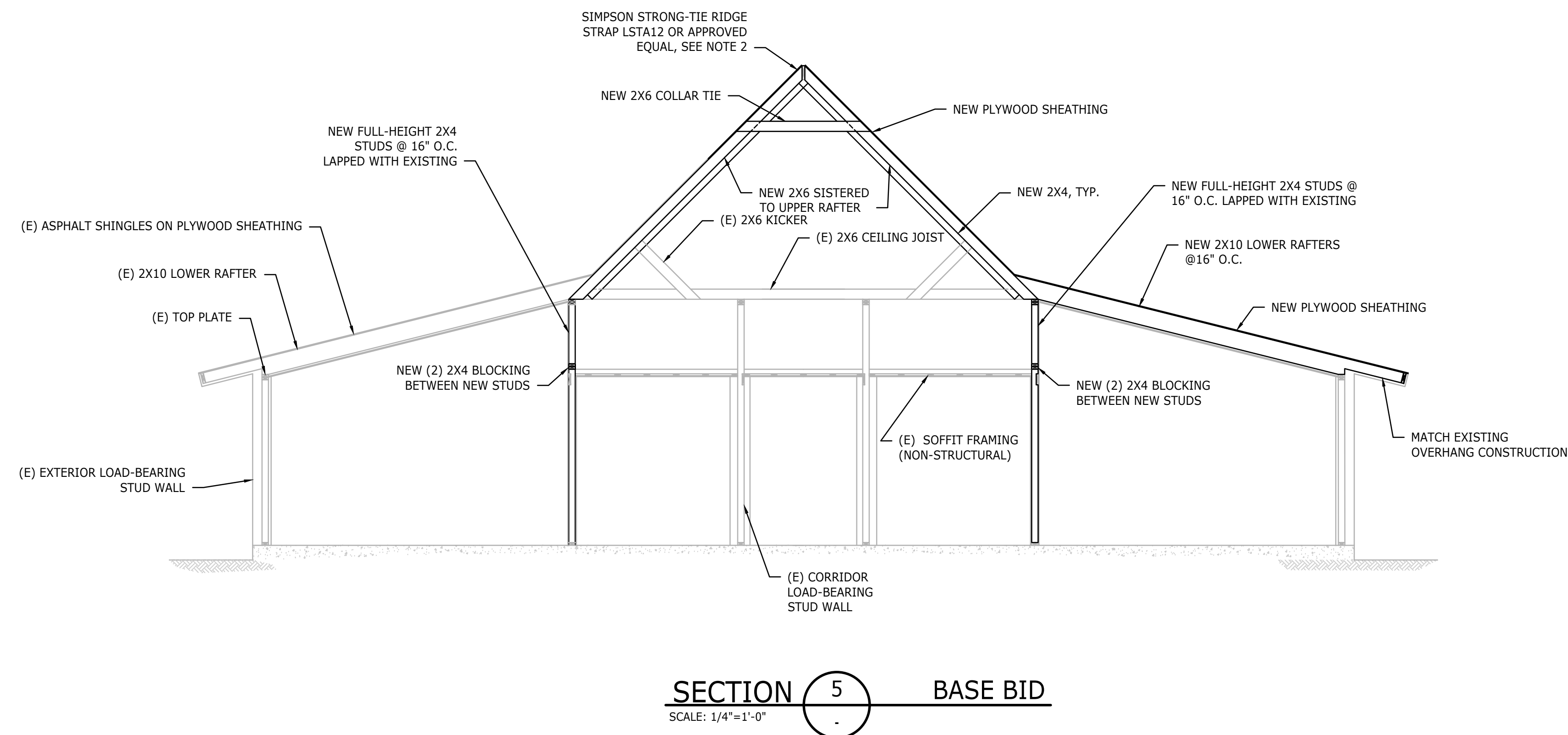
**Lincoln Manor
Building P - Renovations**



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

**UPPER ROOF
FRAMING PLAN**

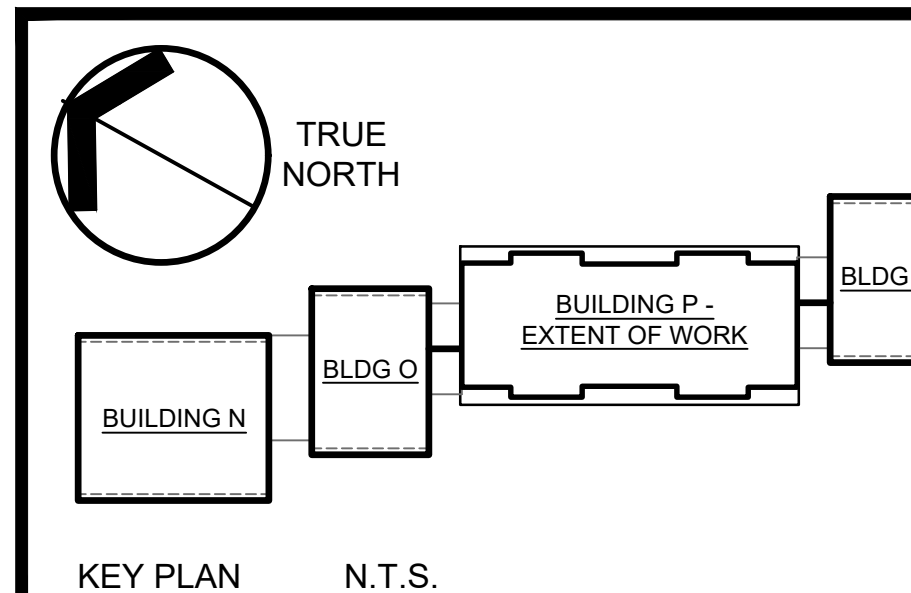
S2.0



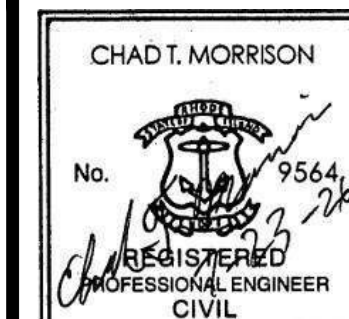
NOTE:
1. FASTEN NEW STUDS WITH #8 X 4" FLAT HEAD WOOD SCREWS @ 16" O.C. TYP. THRU 2X4 INTO EXTERIOR SHEATHING.

NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR.
2. PROVIDE NEW RIDGE STRAPS AT EACH EXISTING RAFTER WHERE SHEATHING IS REMOVED FROM EACH SIDE OF THE RIDGE.

NOTE:
1. FASTEN NEW STUDS WITH #8 X 4" FLAT HEAD WOOD SCREWS @ 16" O.C. TYP. THRU 2X4 INTO EXTERIOR SHEATHING.



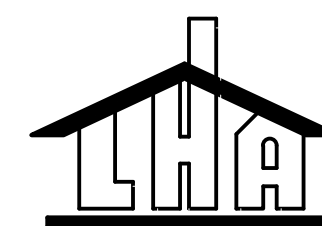
GENERAL NOTES
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Date: JUNE 8, 2026		
Drawn by: MSS		Proj. Mgr.: KMC
<u>Revisions</u>		
No.	Date	Description
1	7/24/26	ADDENDUM 3
		</

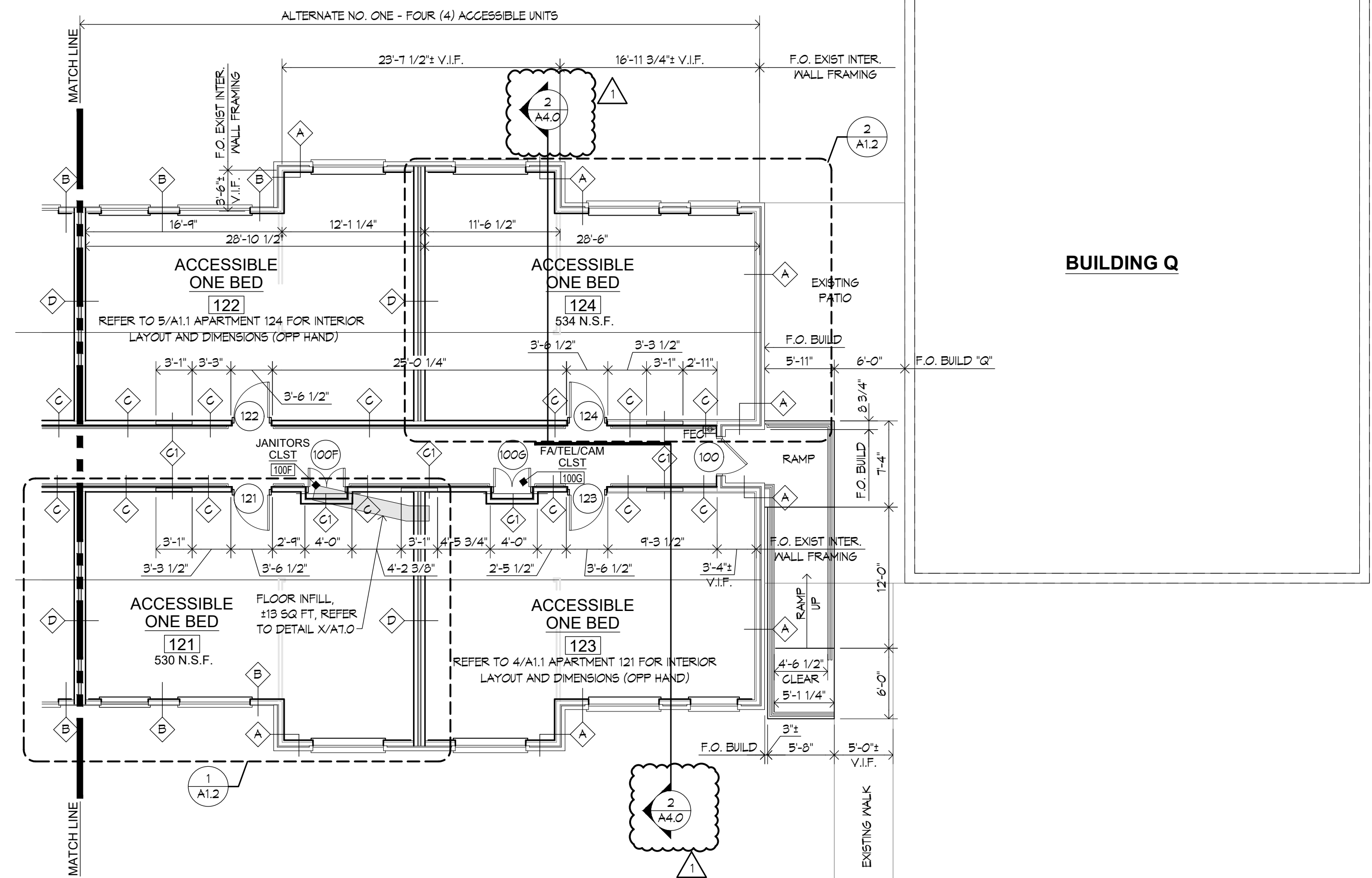
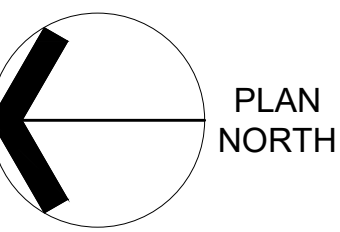
Lincoln Manor
Building P - Renovations



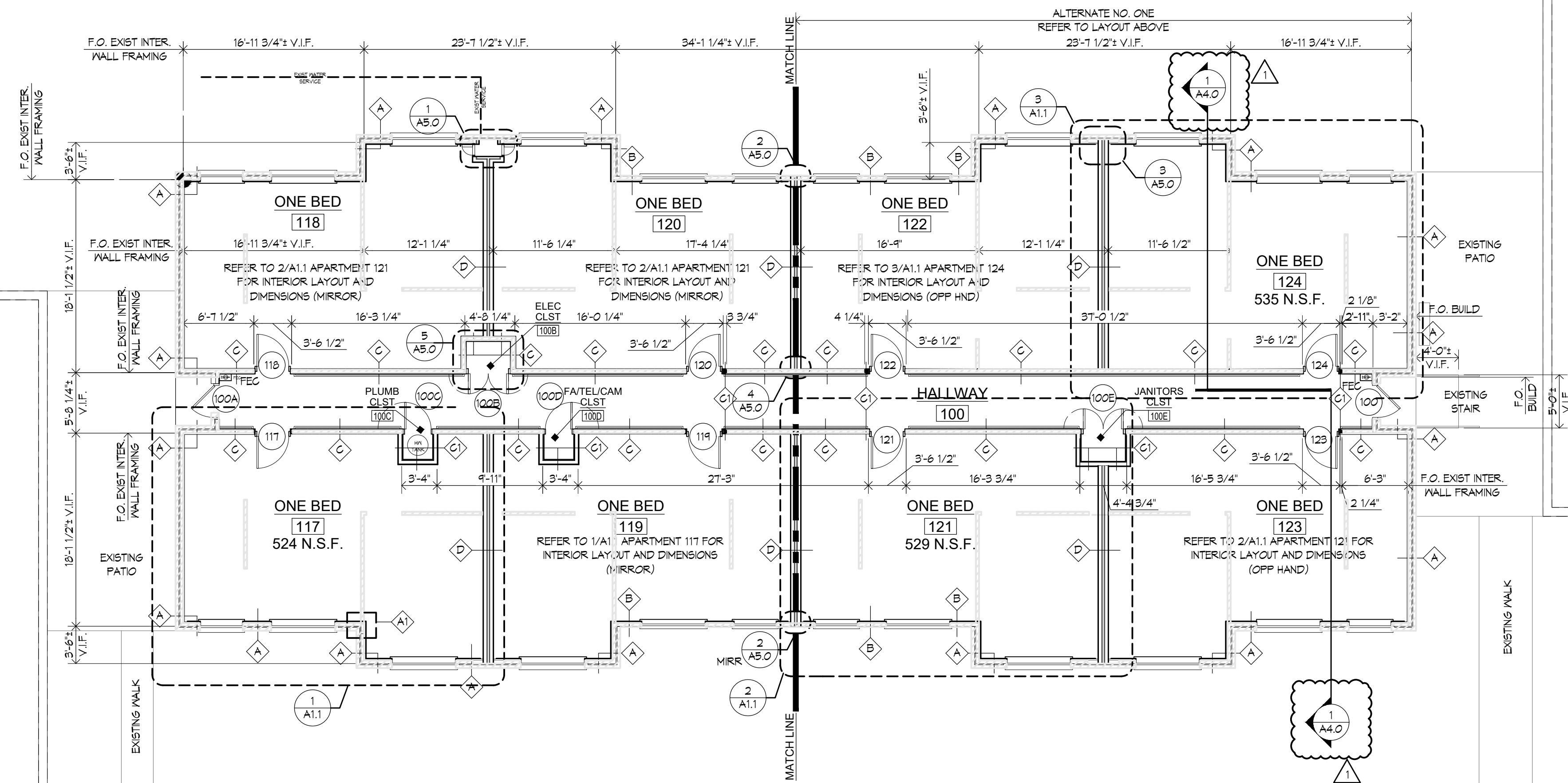
Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

STRUCTURAL
SECTIONS - 3

S3.3



ALTERNATE NO. ONE -
BUILDING "P" PARTIAL FLOOR PLAN
1/8" = 1'-0"



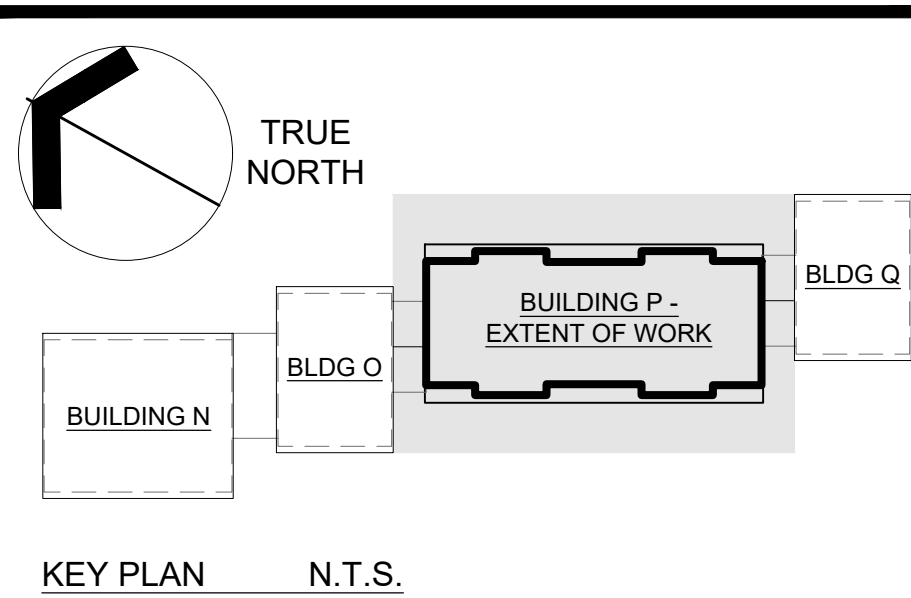
BUILDING "P" (SEVEN) - OVERALL FLOOR PLAN
1/8" = 1'-0"

BUILDING Q

BUILDING Q

BUILDING O

BUILDING N



KEY PLAN N.T.S.

GENERAL NOTES

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- CONTRACTOR SHALL VISIT SITE, PRIOR TO BID, AND CAREFULLY INVESTIGATE AND EXAMINE THE AREA OF WORK SO AS TO SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONTRACTOR TO NOTE THE CHARACTER, QUALITY, QUANTITIES OF MATERIALS REQUIRED AND DIFFICULTIES TO BE ENCOUNTERED, THE KIND AND EXTENT OF EQUIPMENT AND FACILITIES NEEDED FOR PERFORMANCE OF THE WORK AND OTHER ITEMS WHICH MAY, IN ANY WAY, AFFECT THE WORK OR CONTRACTOR'S PERFORMANCE.
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400 Massachusetts Avenue,
Suite 300, Second Floor
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rowse@rowsearchitects.com



OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS AUTHORIZATION OF THE ARCHITECT.

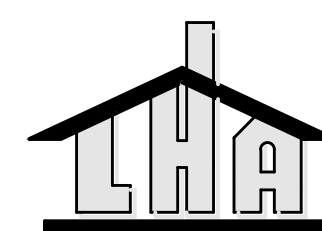
Date: JUNE 29, 2026

Drawn by: DLE Proj. Mgr.: DLE

Revisions

No.	Date	Description
1	JULY 24, 2026	ADDENDUM NO. THREE

Lincoln Manor
Building P - Renovations

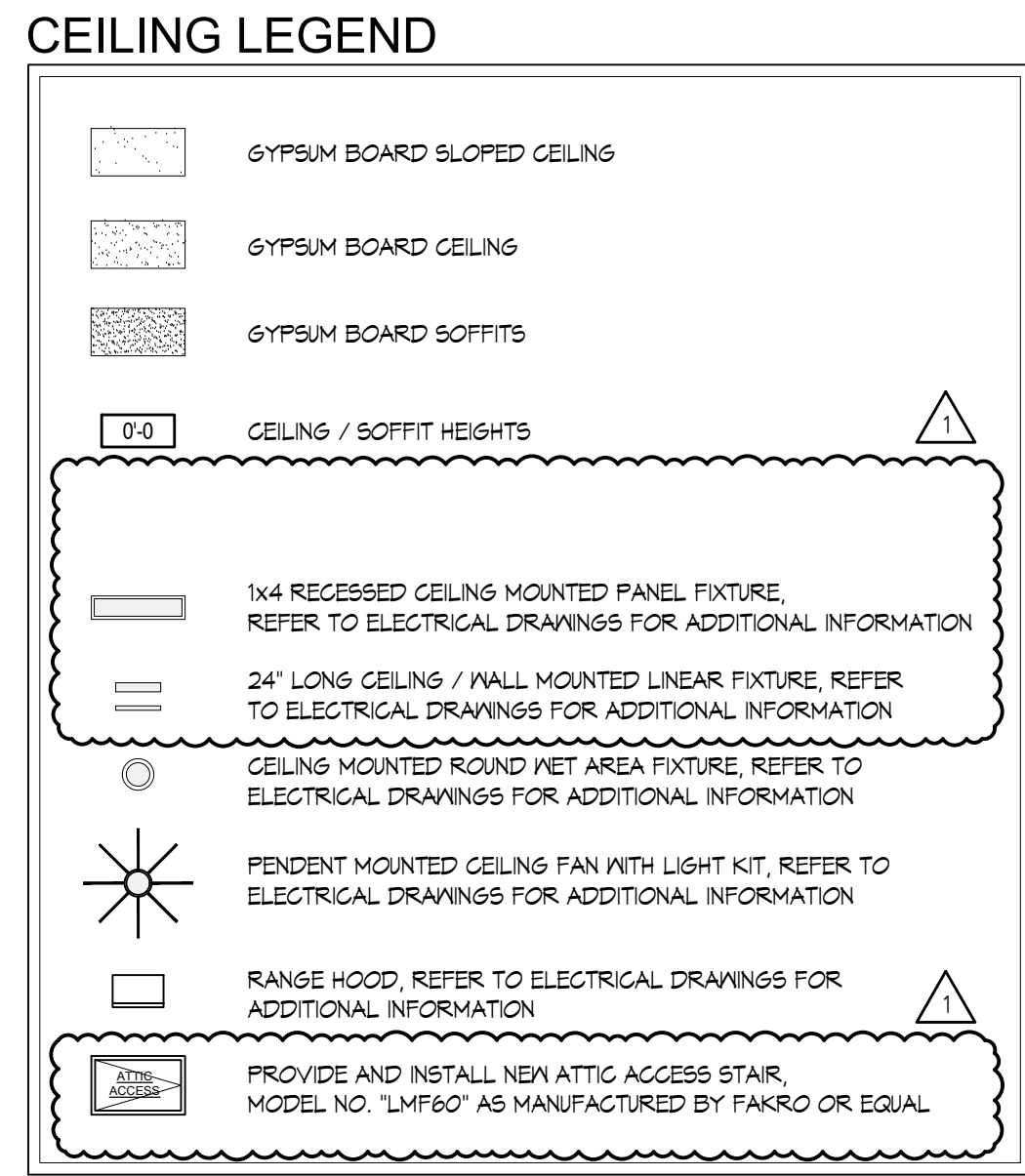
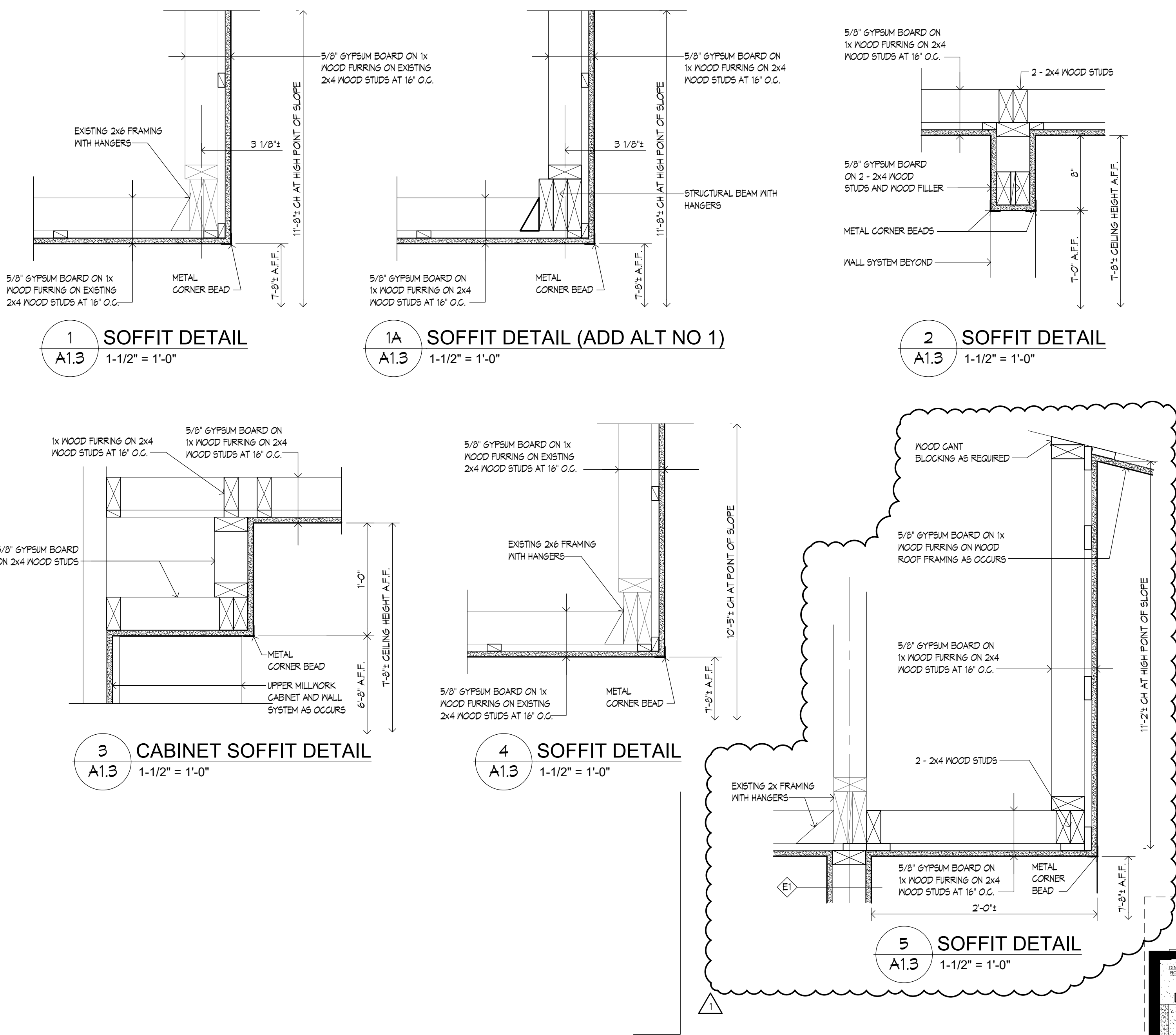


Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

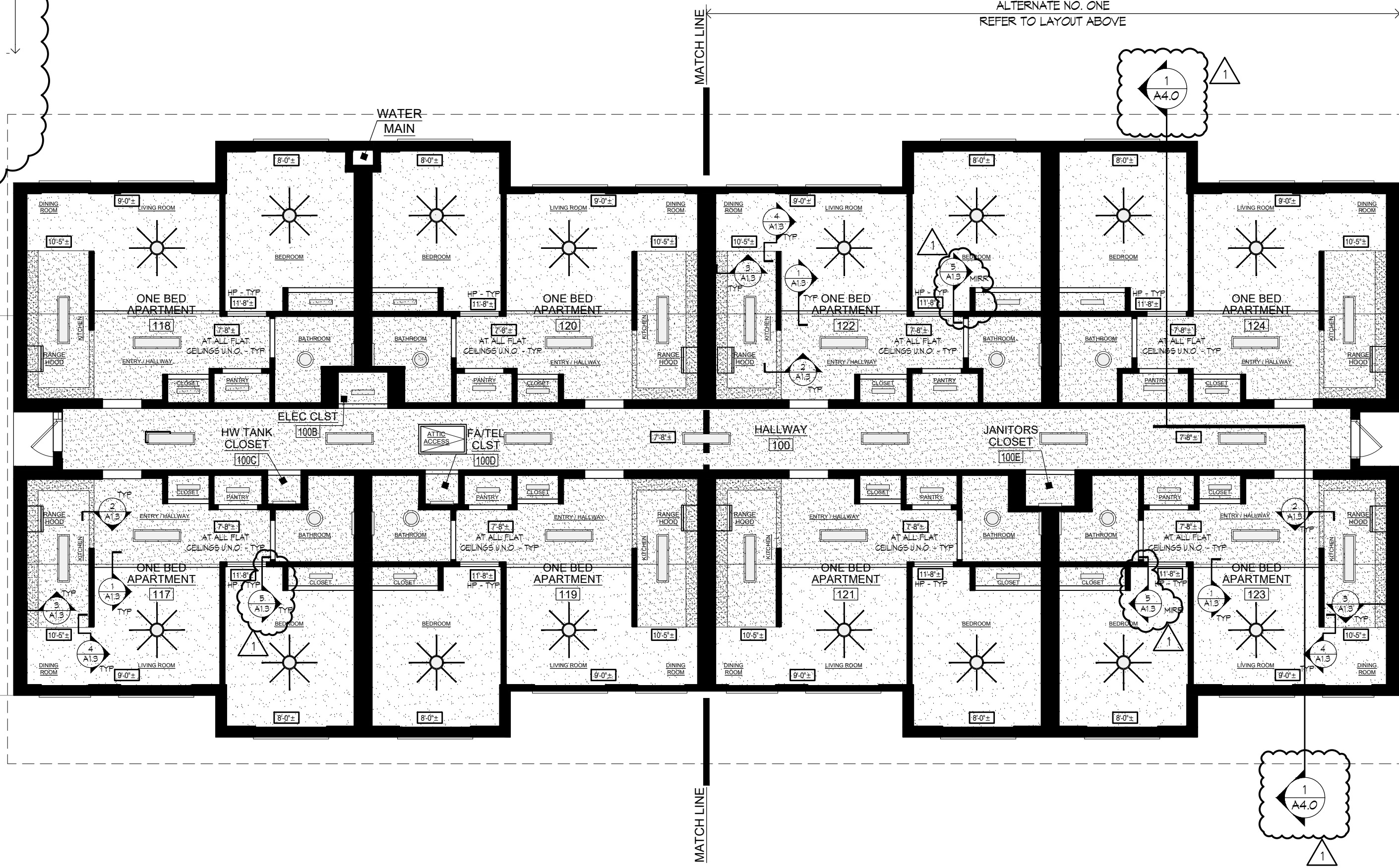
OVERALL
FLOOR PLANS

A1.0

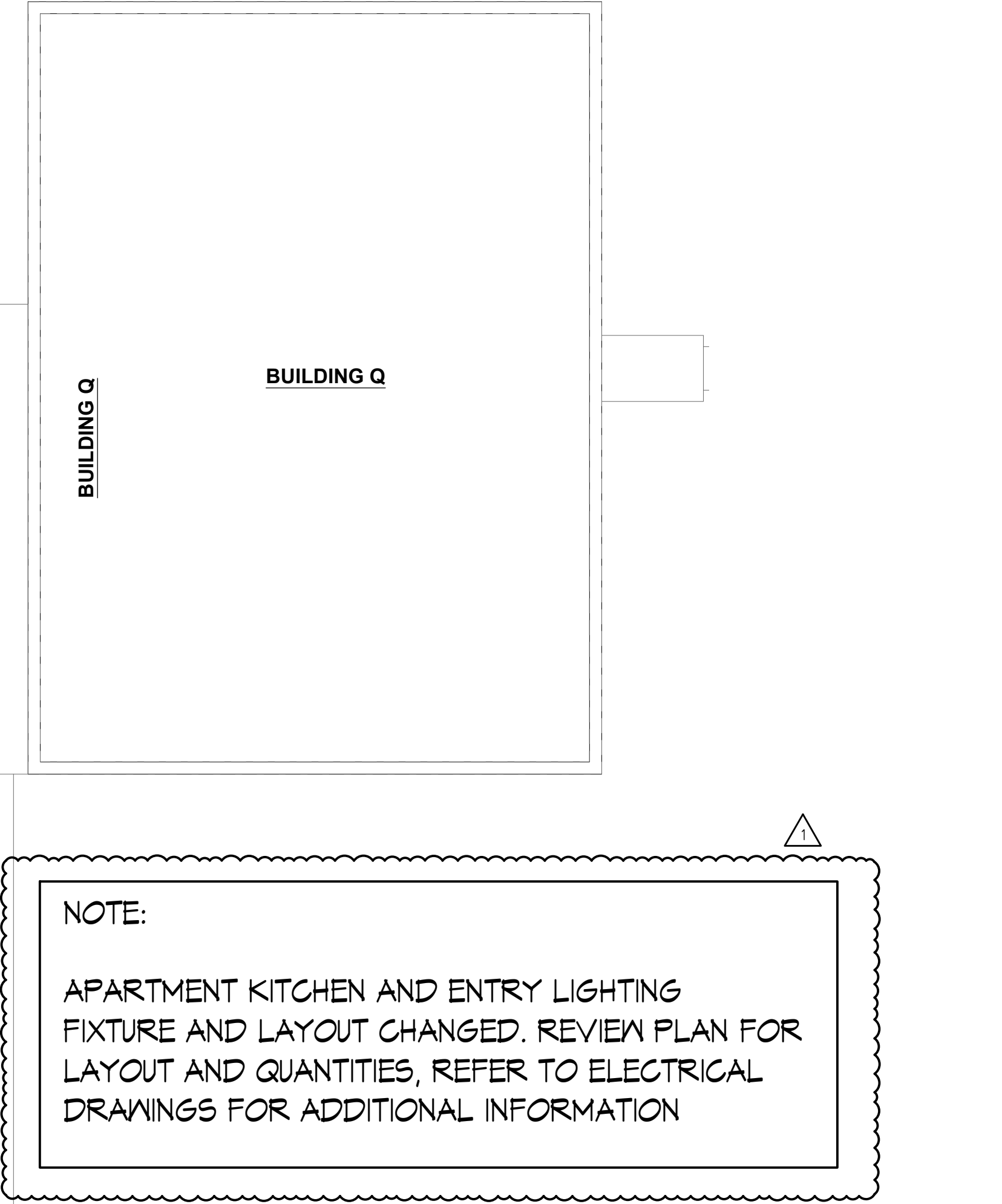
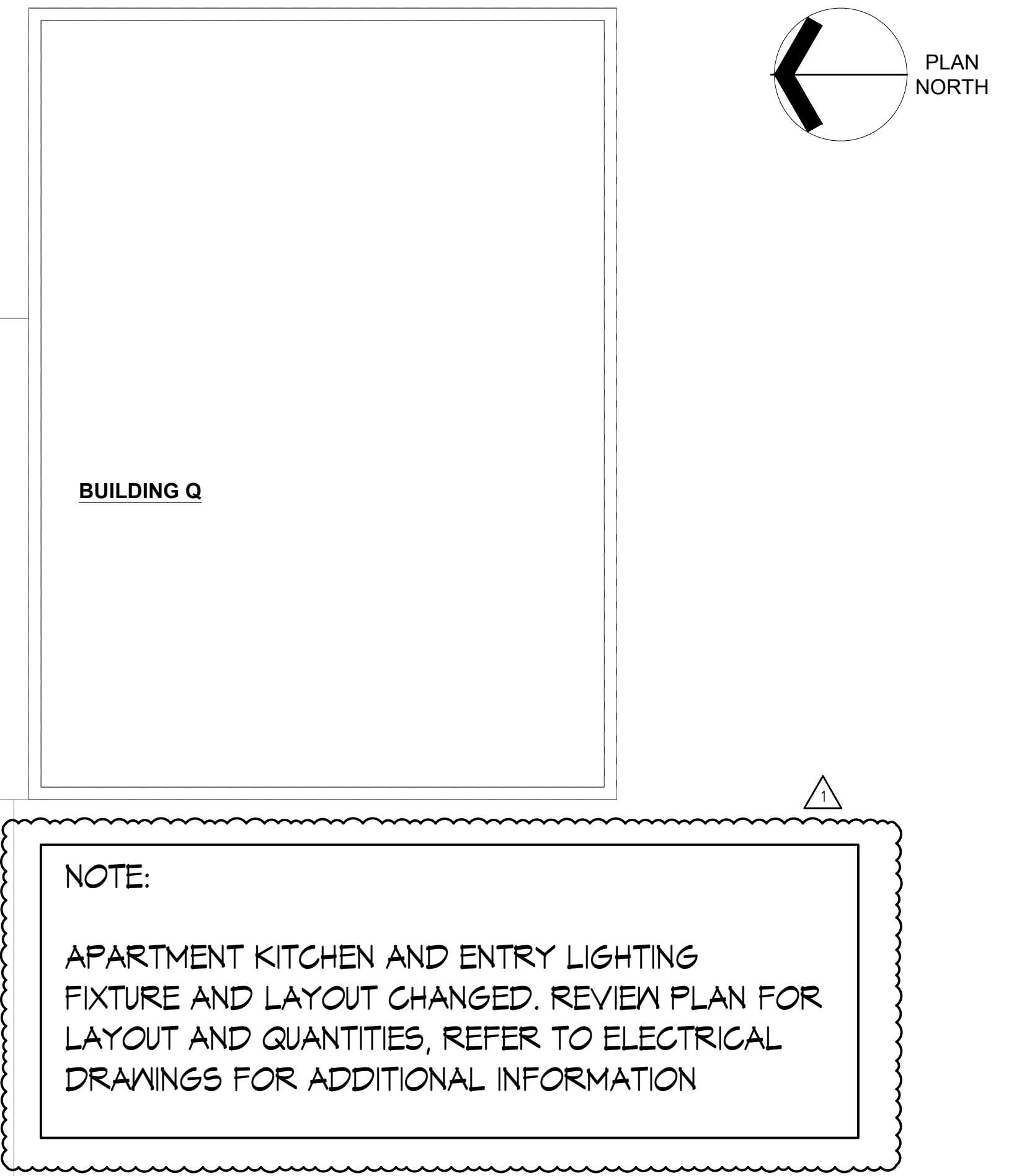
2800TB - A1.0 15 of 43



ALTERNATE NO. ONE -
BUILDING "P" PARTIAL REFLECTED CEILING PLAN
1/8" = 1'-0"

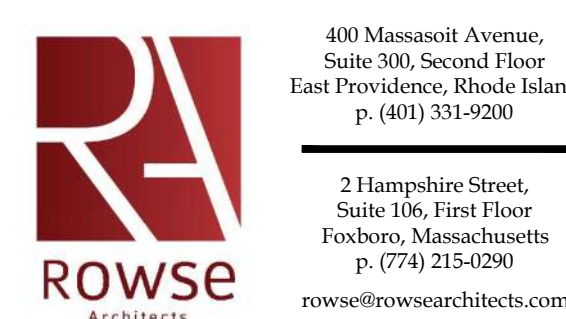


BUILDING "P" (SEVEN) - OVERALL REFLECTED CEILING PLAN
1/4" = 1'-0"



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Date: JUNE 29, 2026
Drawn by: DLE Proj. Mgr.: DLE
Revisions
No. Date Description
1 JULY 24, 2026 ADDENDUM NO 3

Lincoln Manor
Building P - Renovations

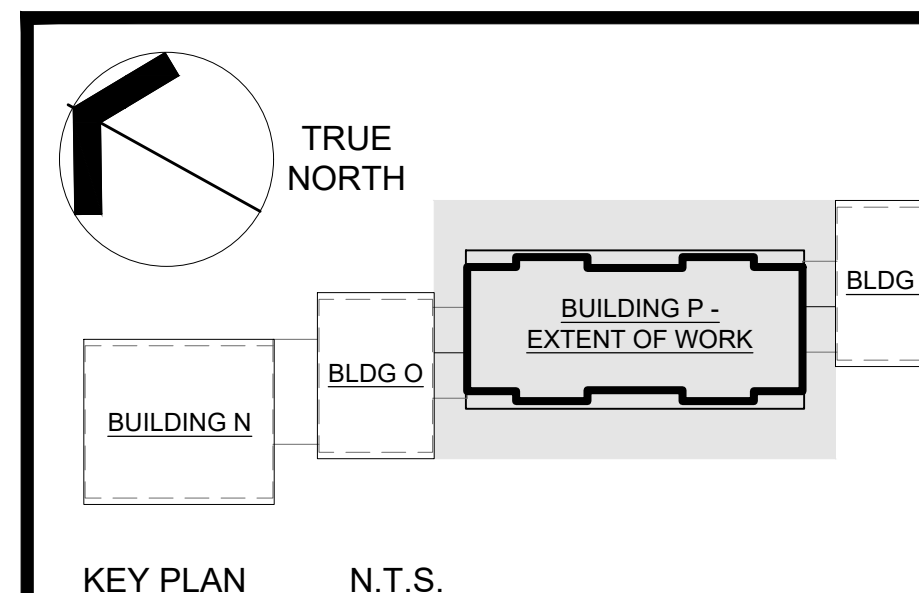
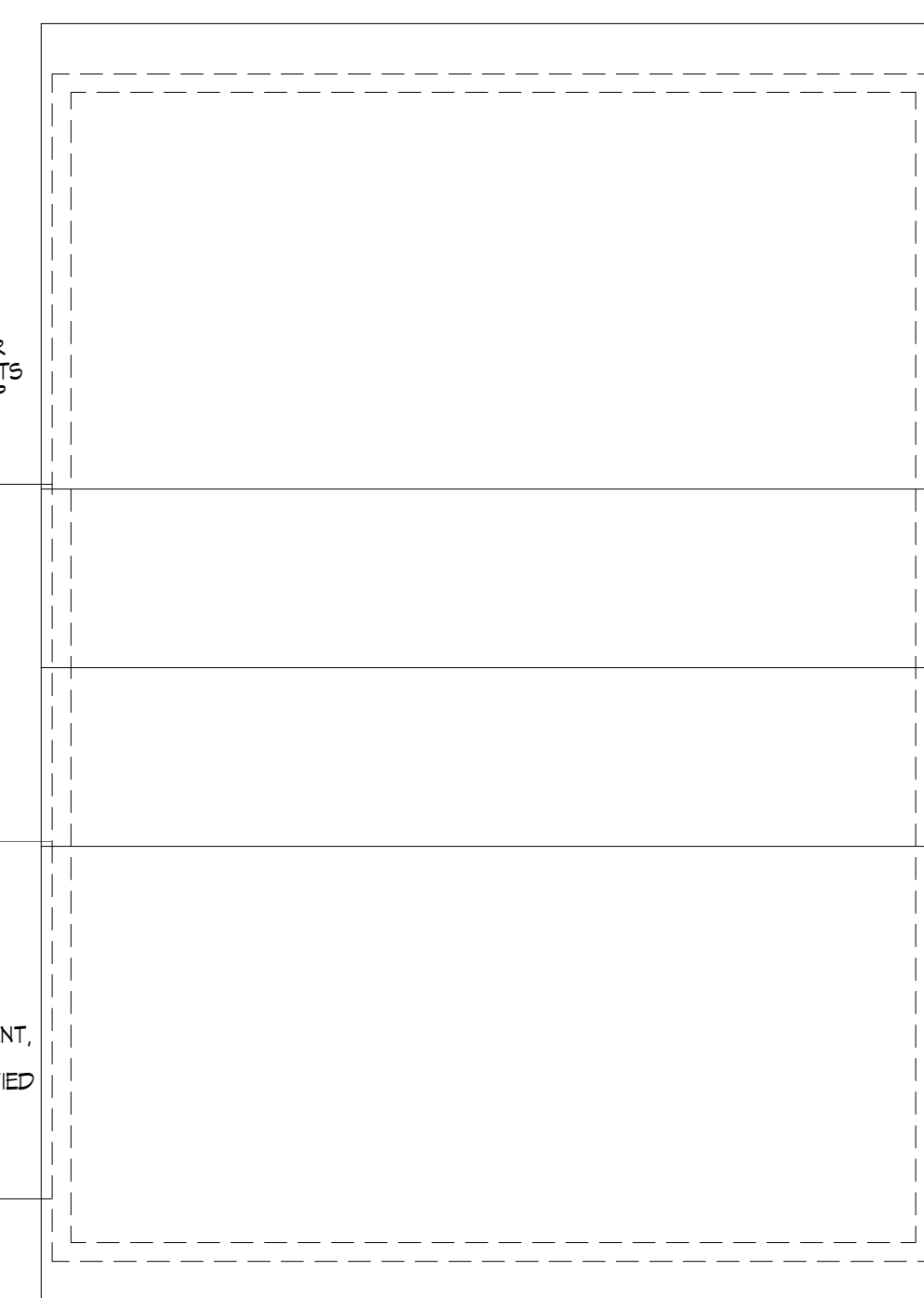
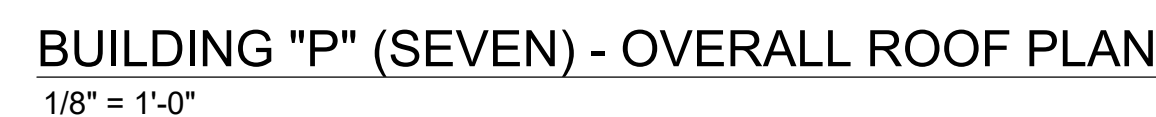
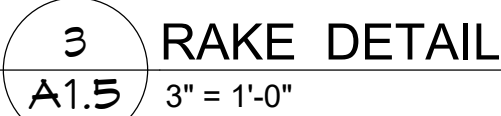
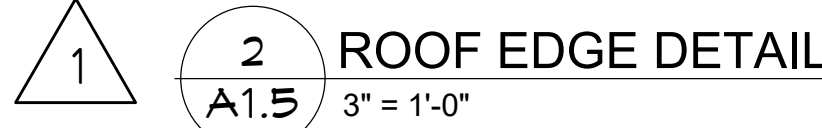


Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

OVERALL REFELCTED
CEILING PLANS,
LEGEND AND DETAILS

A1.3

2800TB - A1.3 18 of 43



KEY PLAN N.T.S

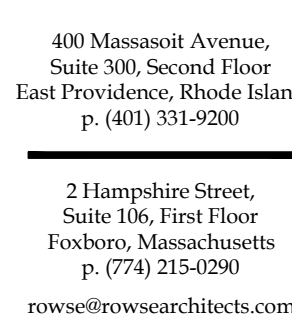
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Date: JUNE 29, 2026

Drawn by: DLE Proj. Mgr.: DLE

Revisions

No.	Date	Description
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1	JULY 31, 2026	ADDENDUM NO. 3
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△ JULY 24, 2026 ADDENDUM NO. 3

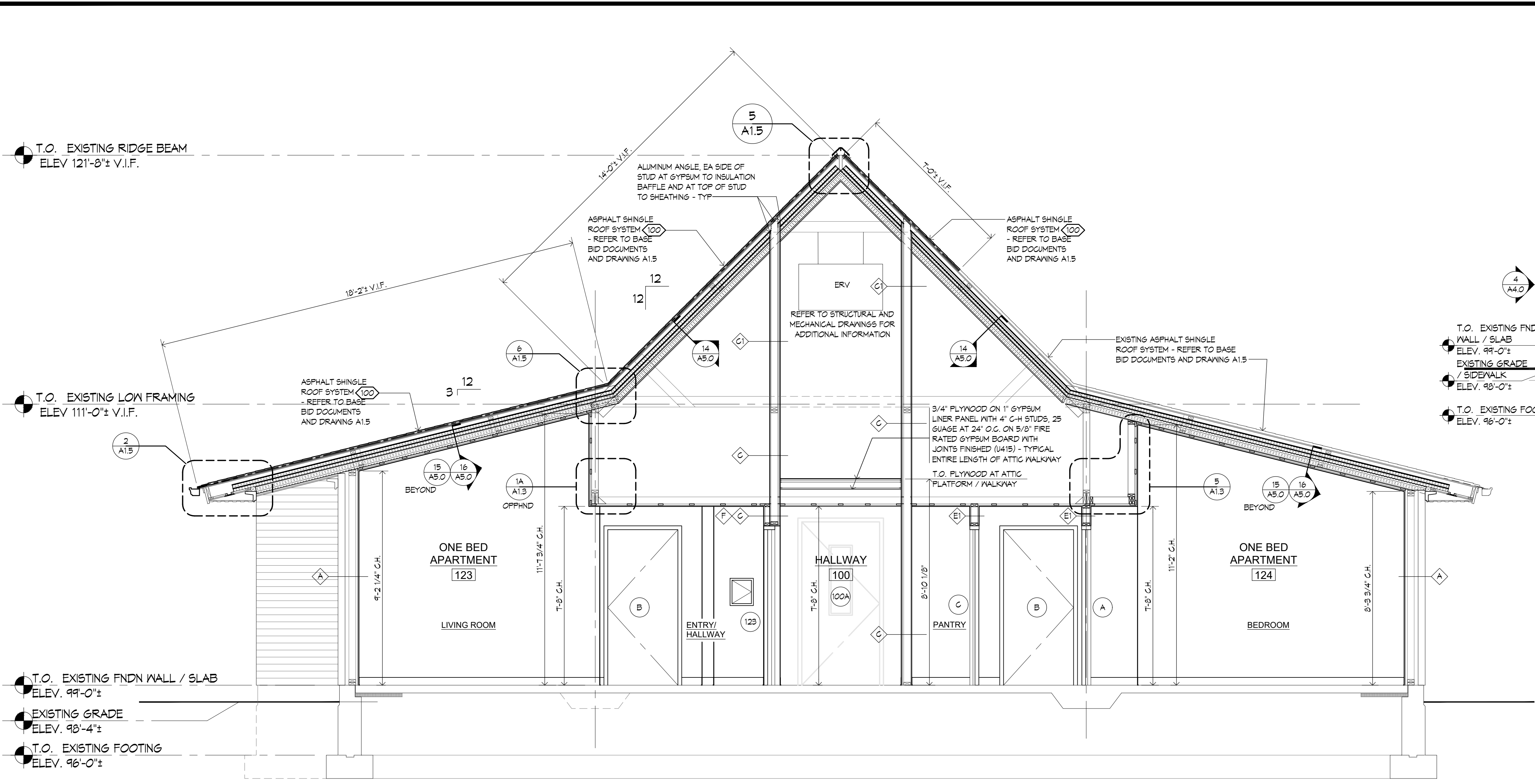


Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

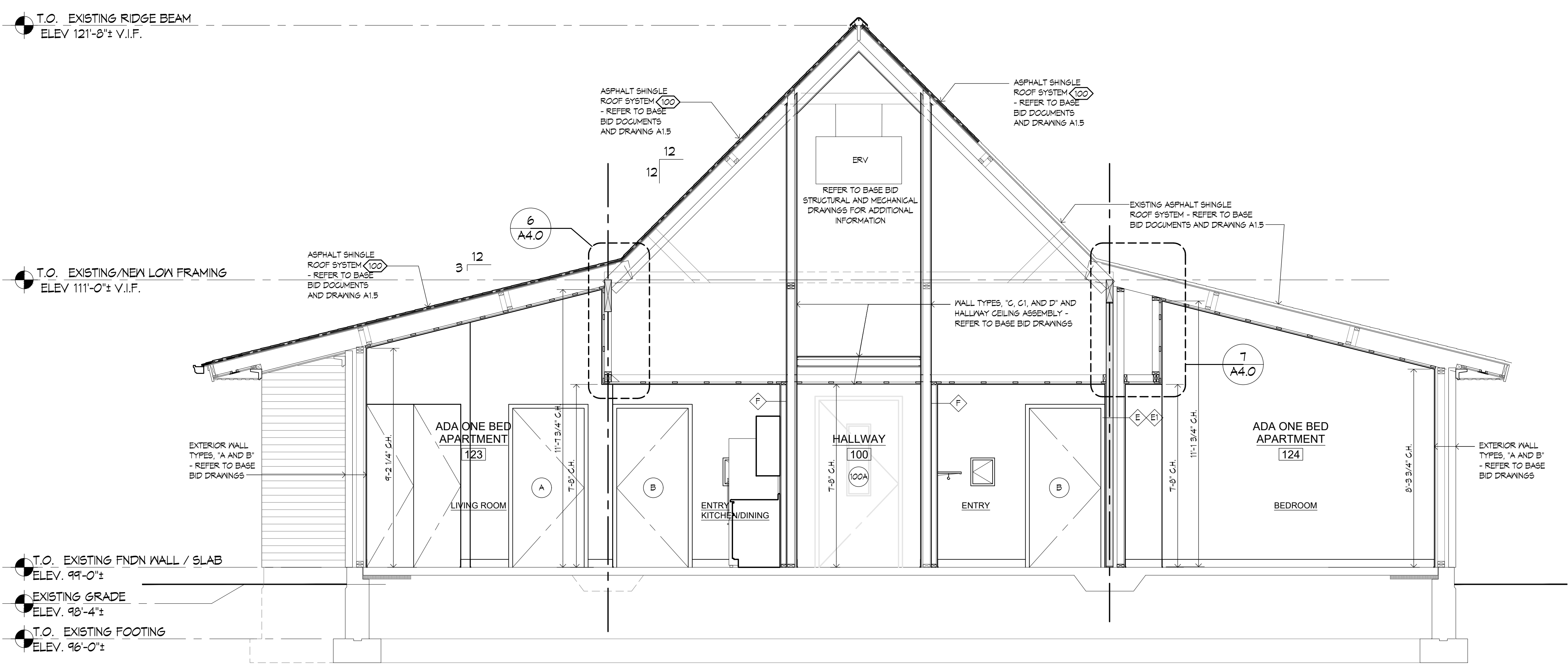
A1.5

2600TB - A1.5

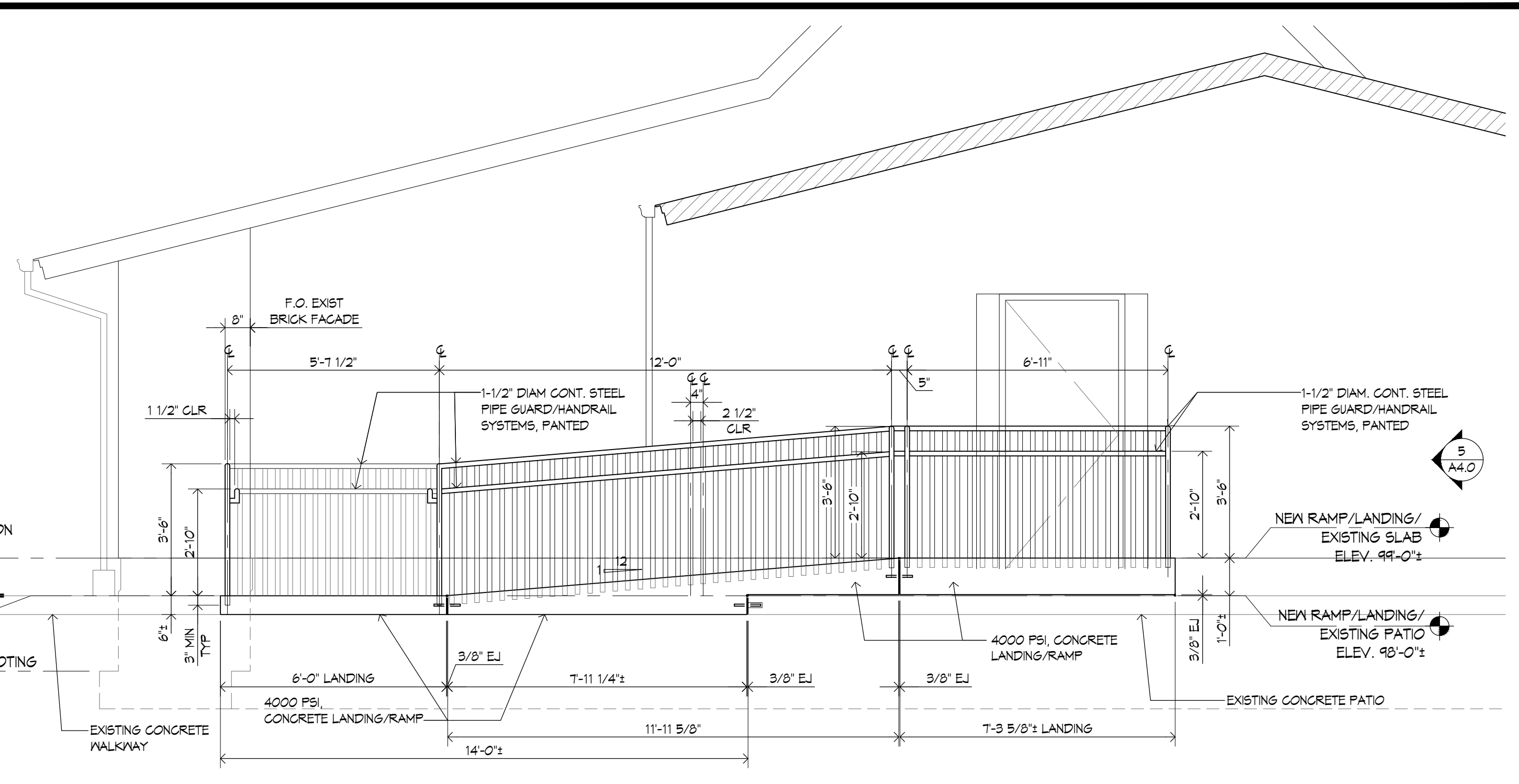
20 of 43



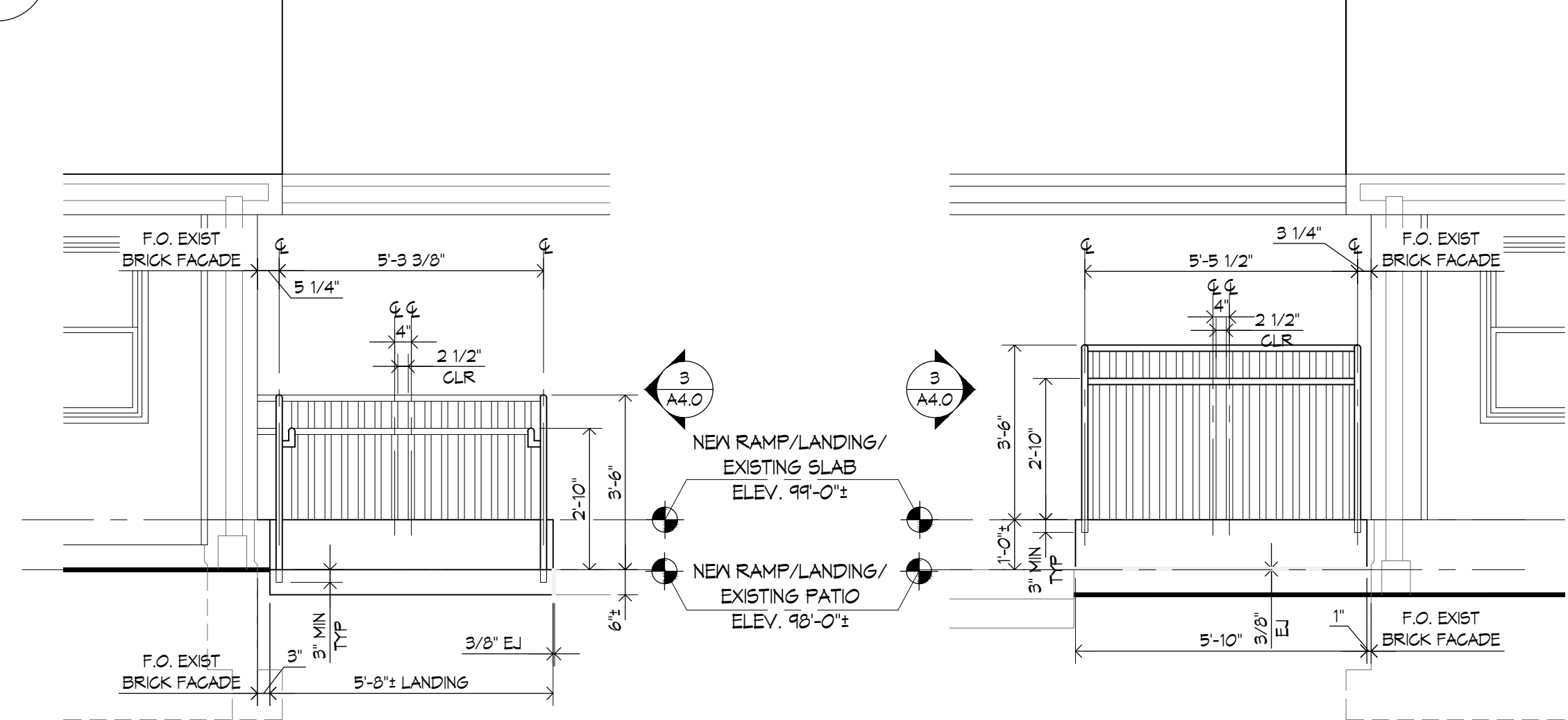
1 BUILDING SECTION
3/8" = 1'-0"



2 BUILDING SECTION - ALTERNATE NO. ONE
3/8" = 1'-0"

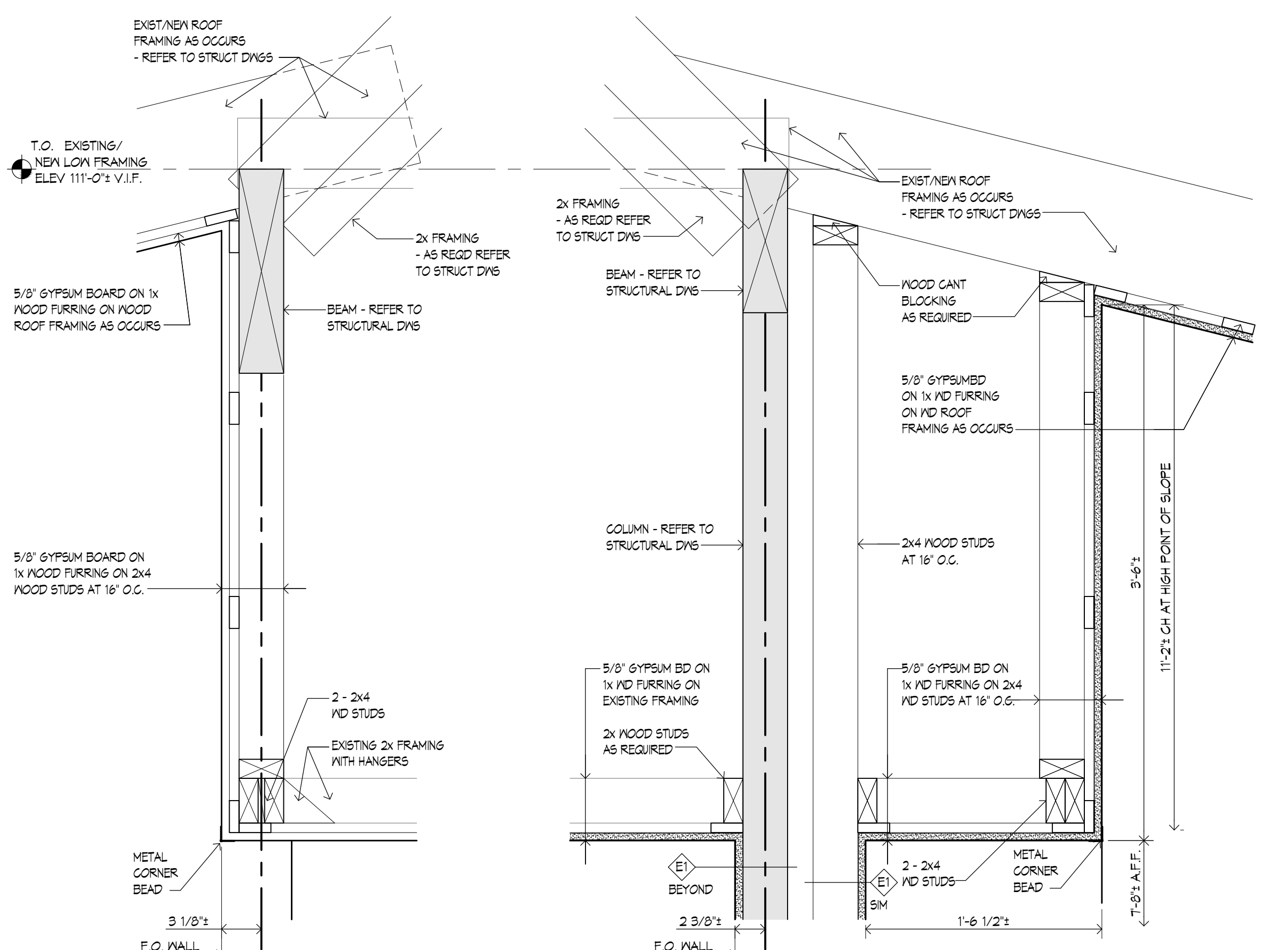


NEW RAMP ASSEMBLY
NEW RAMP ASSEMBLY ELEVATION / SECTION
3/8" = 1'-0"



NEW RAMP ASSEMBLY
ELEVATION / SECTION
3/8" = 1'-0"

NEW RAMP ASSEMBLY
ELEVATION / SECTION
3/8" = 1'-0"



6 SOFFIT DETAIL - ALTERNATE NO. ONE
3/8" = 1'-0"

7 SOFFIT DETAIL - ALTERNATE NO. ONE
3/8" = 1'-0"

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Date: JUNE 29, 2026		
Drawn by: DLE		Proj. Mgr.: DLE
Revisions		
No.	Date	Description
1	JULY 24, 2026	ADDENDUM NO 3

Lincoln Manor
Building P - Renovations

Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

BUILDING SECTIONS
EXTERIOR ELEVATIONS
AND DETAILS

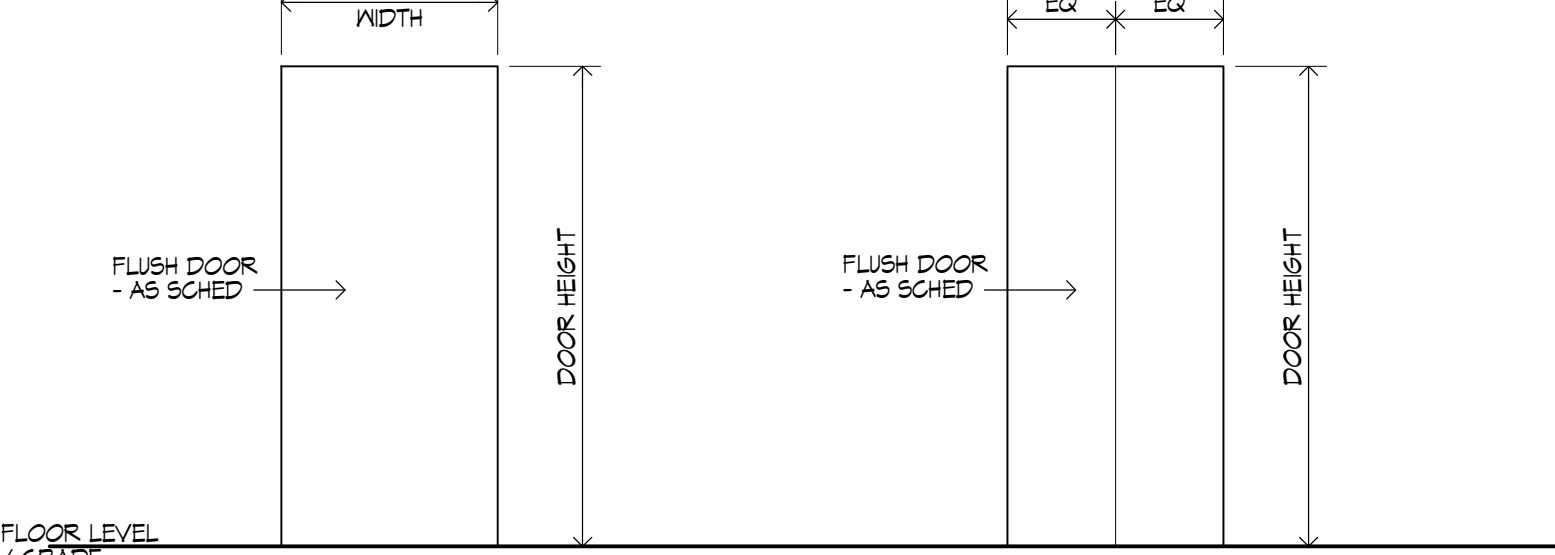
A4.0

26007B - A4.0 x of 43

DOOR SCHEDULE													
	DOOR				FRAME				HW SET	LABEL			REMARKS
	SIZE	TYPE	MAT	FIN	TYPE	MAT	FIN	HEAD					
100	EX 3'-0" x 7'-0"	-	EX HM	PNT	-	EX HM	PNT	-	-	9/A5.0	-	1	-
100A	EX 3'-0" x 7'-0"	-	EX HM	PNT	-	EX HM	PNT	-	-	9/A5.0	-	1	-
100B	PR 2'-0" x 7'-0" 1-3/4"	D2	MD VNR	CLR STAN	F1	HM	PNT	-	7/A5.0	11/A5.0	5-3/4"	2	45
100C	PR 2'-0" x 7'-0" 1-3/4"	D2	MD VNR	CLR STAN	F1	HM	PNT	-	7/A5.0	11/A5.0	5-3/4"	3	45
100D	PR 1'-6" x 7'-0" 1-3/4"	D2	MD VNR	CLR STAN	F1	HM	PNT	-	7/A5.0	X/AXX	5-3/4"	3	45
100E	PR 1'-6" x 7'-0" 1-3/4"	D2	MD VNR	CLR STAN	F1	HM	PNT	-	7/A5.0	11/A5.0	5-3/4"	2	45
100F	PR 1'-4" x 7'-0" 1-3/4"	D2	MD VNR	CLR STAN	F1	HM	PNT	-	7/A5.0	11/A5.0	5-3/4"	2	45
1005	PR 1'-4" x 7'-0" 1-3/4"	D2	MD VNR	CLR STAN	F1	HM	PNT	-	7/A5.0	X/AXX	5-3/4"	2	45
111	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
118	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
119	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
120	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
121	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
122	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
123	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
124	3'-0" x 7'-0" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	4	45
A	3'-0" x 6'-6" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	-	5-3/4"	5	-
B	3'-0" x 6'-6" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	10/A5.0	5-3/4"	5	-
C	3'-0" x 6'-6" 1-3/4"	D1	MD VNR	CLR STAN	F1	HM	PNT	-	6/A5.0	-	5-3/4"	6	-
D	PR 2'-0" x 6'-6" x 1"	D3	MD VNR	CLR STAN	-	ALUM	-	-	-	-	-	7	-
E	PR 2'-6" x 6'-6" x 1"	D3	MD VNR	CLR STAN	-	ALUM	-	-	-	-	-	8	-
REMARKS:													
1. REFER TO ADD ALTERNATE NO. ONE													

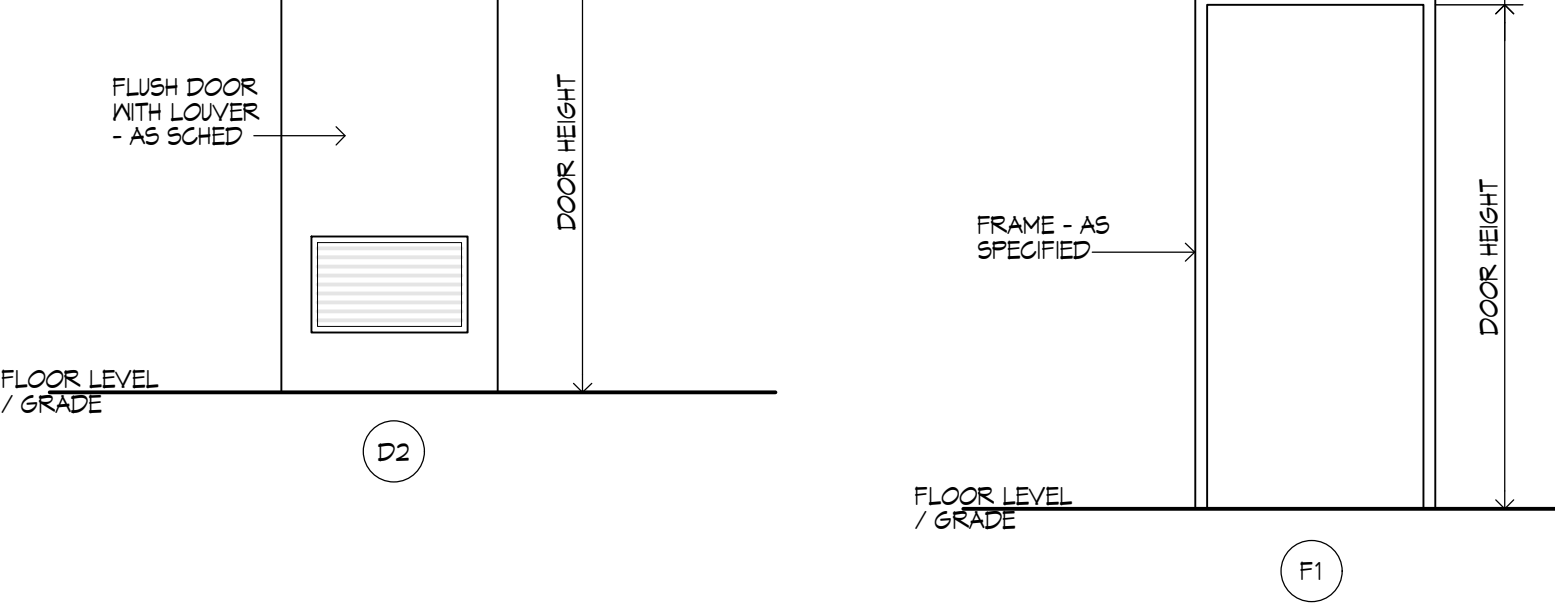
DOOR TYPES

3/8" = 1'-0"



FRAME TYPE

3/8" = 1'-0"

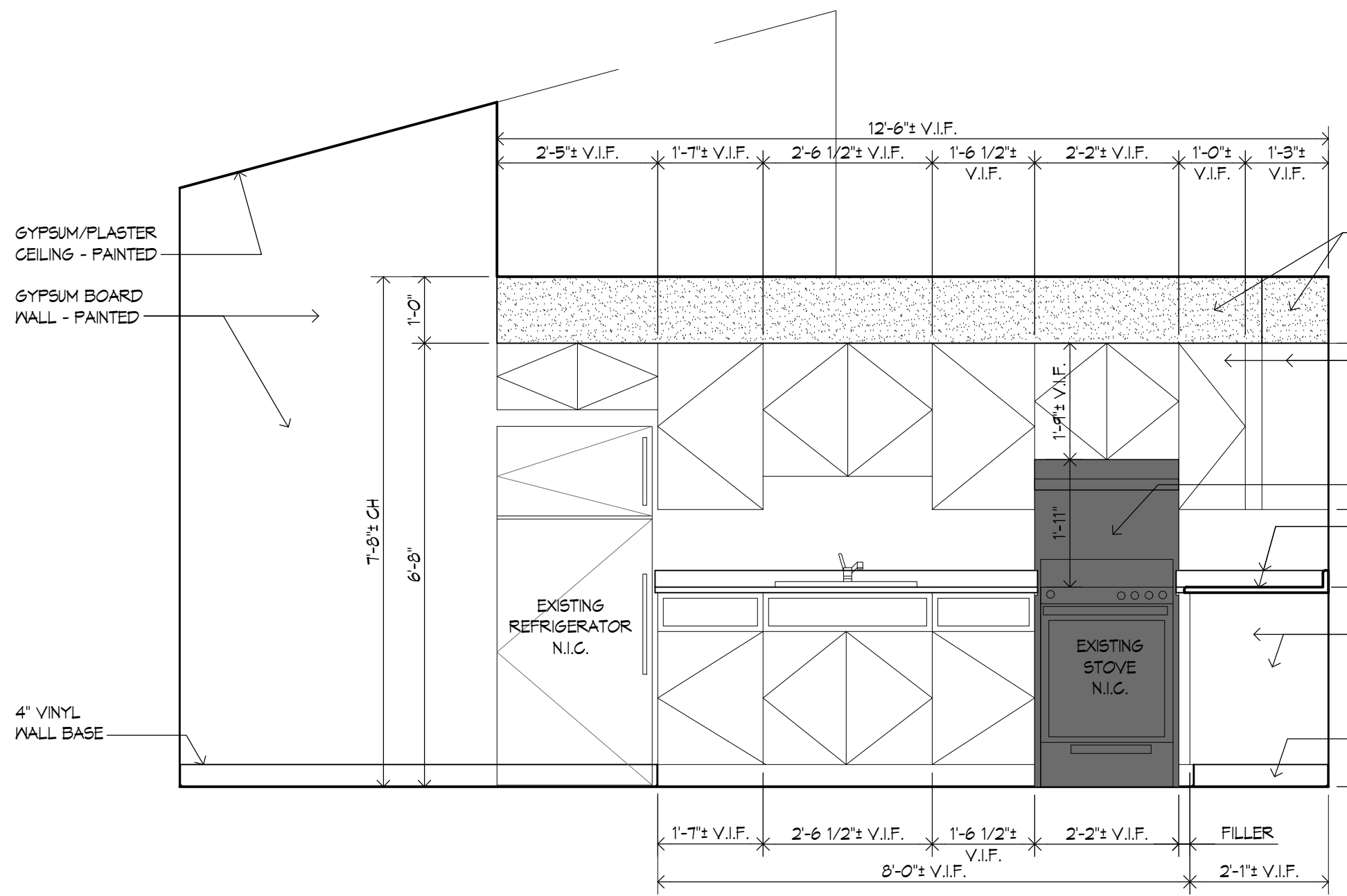


ROOM FINISH SCHEDULE

ROOM	FLOOR			WALLS		CEILING				REMARKS
NAME	MAT	FIN	BASE	MAT	FIN	MAT	FIN	HGT	TYPE	
HALLWAY	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
ELECTRICAL CLOSET	CONC	-	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
PLUMBING CLOSET	CONC	-	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
FA/TEL/COM/CM CLOSET	CONC	SDT	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
JANITORS CLOSET	CONC	-	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
APARTMENTS										
ENTRY	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	1
ENTRY / HALLWAY	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
KITCHEN	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
DINING	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
LIVING	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
BEDROOM	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
BEDROOM CLOSET	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
BATHROOM	CONC	LVT-2	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
PANTRY	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
CLOSET	CONC	LVT-1	VB	GYPSD PLAST	PNT	GYPSD PLAST	PNT	T-8'	-	X
REMARKS:										
1. REFER TO ADD ALTERNATE NO. ONE										

PLUMBING ACCESSORY SCHEDULE

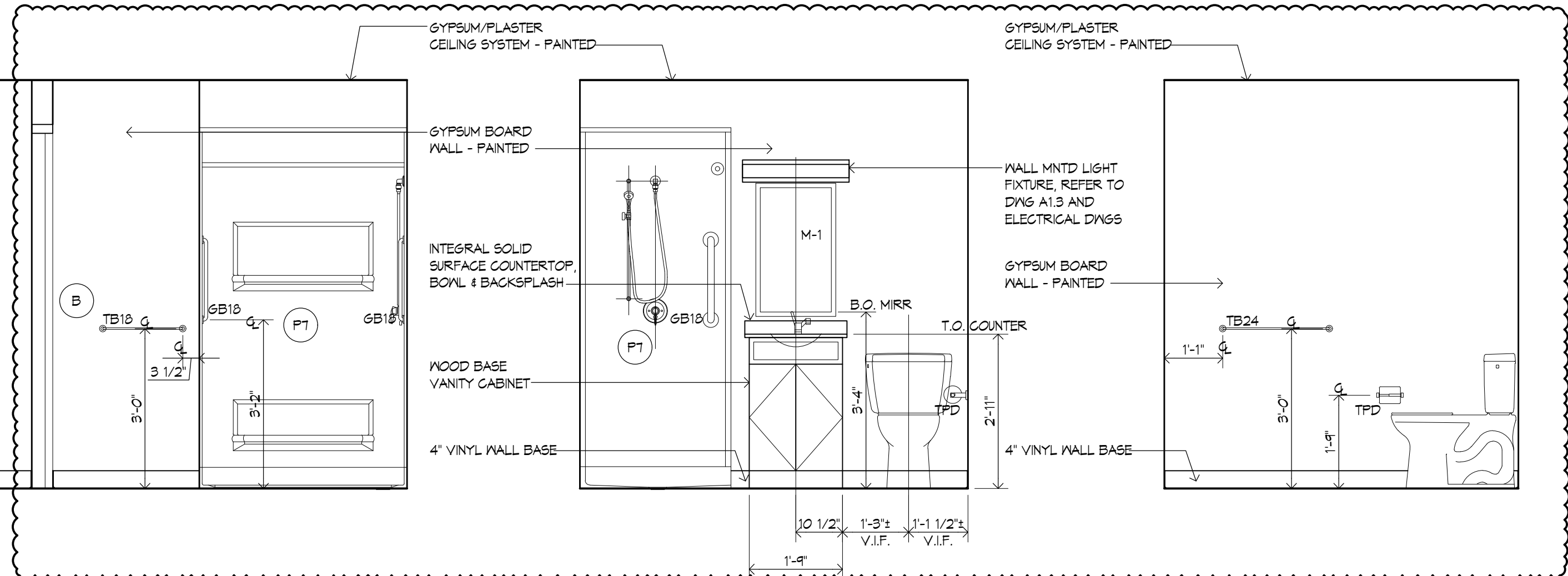
ABBRV.	ACCESSORY DESCRIPTION
GB18	GRAB BAR - BRADEX, MODEL NO. 812-001-18, MANUFACTURED BY BRADLEY OR EQUAL
GB36	GRAB BAR - BRADEX, MODEL NO. 812-001-36, MANUFACTURED BY BRADLEY OR EQUAL
GB42	GRAB BAR - BRADEX, MODEL NO. 812-001-42, MANUFACTURED BY BRADLEY OR EQUAL
GB2436	GRAB BAR - 812-058 (24" x 36") AS MANUFACTURED BY BRADLEY OR EQUAL
M-1	MIRROR - BRADEX, MODEL T81-1830 AS MANUFACTURED BY BRADLEY OR EQUAL
M-2	MIRROR - BRADEX, MODEL T81-1836 AS MANUFACTURED BY BRADLEY OR EQUAL
RH	ROBE HOOK - BRADEX, MODEL NO. 9124, AS MANUFACTURED BY BRADLEY OR EQUAL
TB12	TOYEL BAR - MODEL NO. 0984-1200US, AS MANUFACTURED BY BRADLEY OR EQUAL
TB18	TOYEL BAR - BRADEX, MODEL NO. 4054-18, AS MANUFACTURED BY BRADLEY OR EQUAL
TB24	TOYEL BAR - BRADEX, MODEL NO. 4054-24, AS MANUFACTURED BY BRADLEY OR EQUAL
TR	TOYEL RING - BRADEX, MODEL NO. 4334, AS MANUFACTURED BY BRADLEY OR EQUAL
TTD	TOILET TISSUE DISPENSER, BRADEX, MODEL NO. 5024, AS MANUFACTURED BY BRADLEY OR EQUAL



1 INTERIOR ELEVATION AT APARTMENT 117
A6.0 3/8" = 1'-0"
APTS 118, 119, 120, 121 SIM

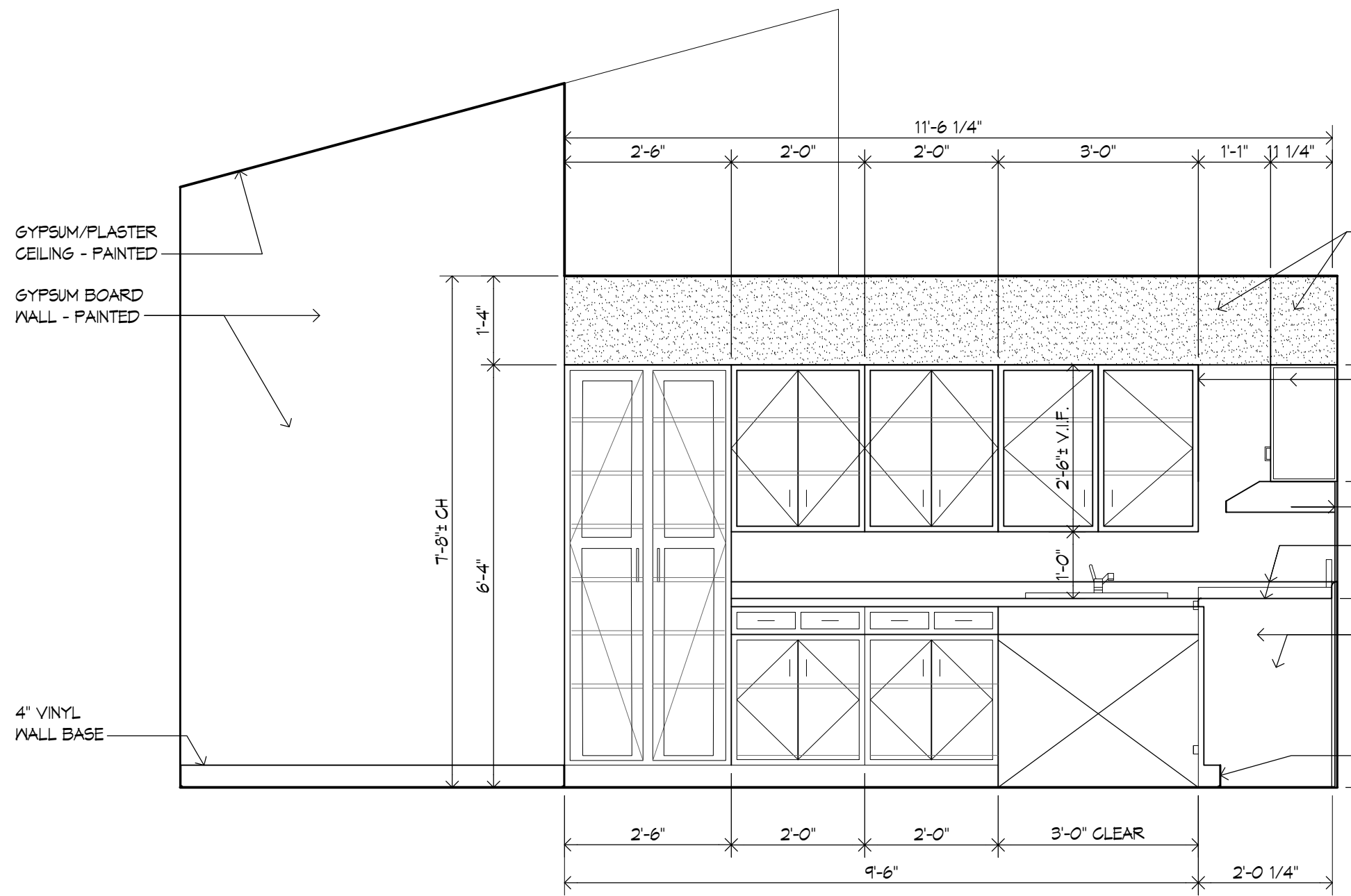
NOTE:
APARTMENTS 123 AND 124 - PROVIDE AND INSTALL NEW UPPER AND LOWER CABINETS TO MATCH EXISTING LAYOUT. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

2 INTERIOR ELEVATION AT APARTMENT 117
A6.0 3/8" = 1'-0"
APTS 118, 119, 120, 121 SIM



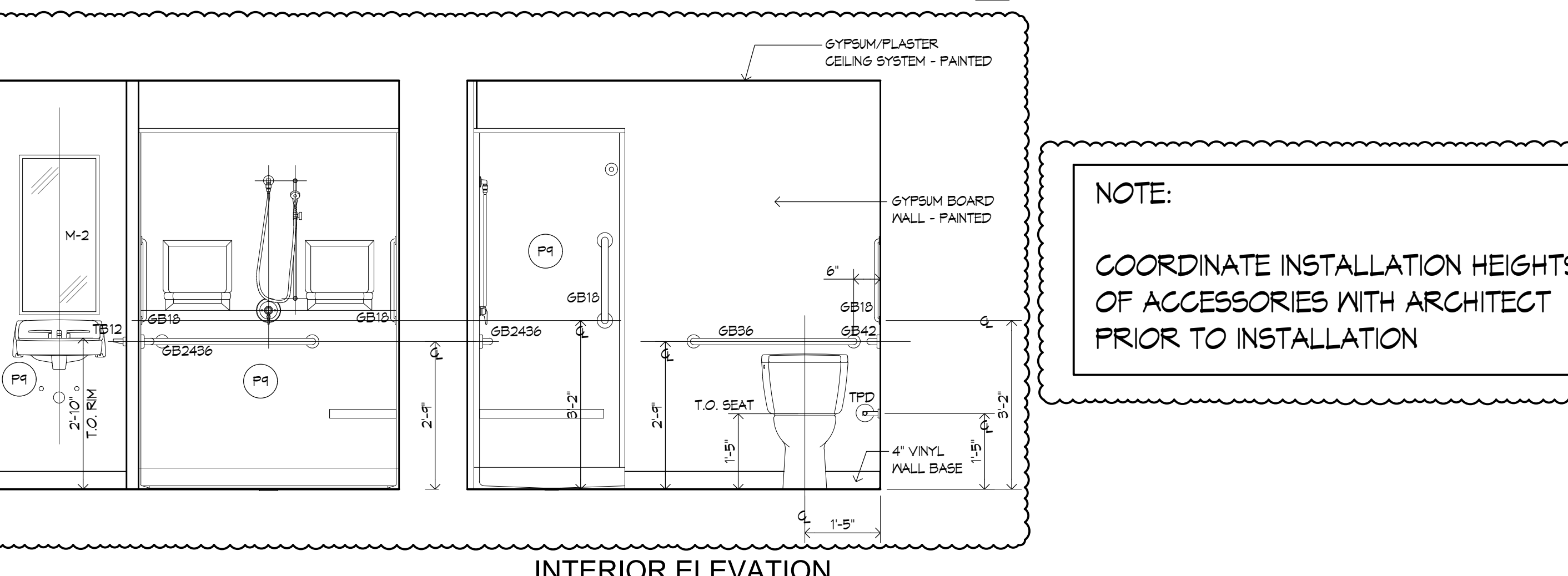
3 INTERIOR ELEVATION AT APARTMENT 117
A6.0 3/8" = 1'-0"
APTS 118, 119, 120, 121, 122, 123 & 124 SIM

4 INTERIOR ELEVATION AT APARTMENT 117
A6.0 3/8" = 1'-0"
APTS 118, 119, 120, 121, 122, 123 & 124 SIM



5 INTERIOR ELEVATION AT APARTMENT 121
A6.0 3/8" = 1'-0"

6 INTERIOR ELEVATION AT APARTMENT 121
A6.0 3/8" = 1'-0"



7 INTERIOR ELEVATION AT APARTMENT 121
A6.0 3/8" = 1'-0"

NOTE:
COORDINATE INSTALLATION HEIGHTS OF ACCESSORIES WITH ARCHITECT PRIOR TO INSTALLATION

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Date: JUNE 29, 2026

Drawn by: DLE Proj. Mgr.: DLE

Revisions

No. Date Description

1 JUNE 24, 2026 ADDENDUM NO THREE

Lincoln Manor
Building P - Renovations



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

DOOR, FINISH AND
ACCESSORIES SCHEDULES
& INTERIOR ELEVATIONS

A6.0

26007B - A6.0 23 of 43

PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	FIXTURE				FIXTURE				SERVICES					REMARKS
		MANUFACTURER	MODEL	TYPE	SIZE	MANUFACTURER	MODEL	TYPE	S/W	V	CW	HW	TW		
P-1	WATER CLOSET	KOHLER	K-37740	FLOOR MOUNTED	-	-	-	1.28 GPF	4"	2"	1/2"	-	-	VITREOUS CHINA, ELONGATED, TANK TYPE PROVIDE MODEL K-4731-C SOFT-CLOSE TOILET SEAT/COVER.	
P-2	LAVATORY	SWAN	ELLIPSE	INTEGRAL COUNTER TOP	-	MOEN	L45711	0.5 GPM MANUAL	2"	2"	1/2"	1/2"	-	POLISHED CHROME FAUCET W/ POP-UP DRAIN	
P-3	SHOWER	BEST BATH	4LBS483ME75B L/R	MULTI-PIECE SURROUND	48"x34"	SYMMONS	C-96-500-B30-V-X	1.75 GPM	2"	2"	1/2"	1/2"	1/2"	SHOWER/HAND SHOWER SYSTEM WITH TEMPTROL, PRESSURE BALANCING SHOWER VALVE AND SYMMONS DUAL OUTLET DIVERTER VALVE. COORDINATE SHOWER VALVE LOCATION W/ ARCHITECTURAL DRAWINGS.	
P-3A	SHOWER	BEST BATH	4LBS483ME75B L/R	MULTI-PIECE SURROUND	48"x34"	SYMMONS	C-96-500-B30-V-X	1.75 GPM	2"	2"	1/2"	1/2"	1/2"	SHOWER/HAND SHOWER SYSTEM WITH TEMPTROL, PRESSURE BALANCING SHOWER VALVE AND SYMMONS DUAL OUTLET DIVERTER VALVE. COORDINATE SHOWER VALVE LOCATION W/ ARCHITECTURAL DRAWINGS.	
P-4	KITCHEN SINK	ELKAY	DLR252210PD	COUNTERMOUNT	25"x22"x10"	MOEN	8707	1.5 GPM	2"	2"	1/2"	1/2"	-	PROVIDE INKSINKERATOR BADGER 5 GARBAGE DISPOSAL. PROVIDE INKSINKERATOR SINKTOP SWITCH DUAL OUTLET STS-OOSN.	

- NOTE:
1. REFER TO ALTERNATE NO. 1 SCHEDULE ON P1.2 FOR ADDITIONAL PLUMBING FIXTURE SCHEDULES.
 2. ALL ADA FIXTURES SHALL BE INSTALLED PER ADA REQUIREMENTS.
 3. COORDINATE THE INSTALLATION OF ALL TUB & SHOWER FIXTURES WITH MANUFACTURERS AND STATE & LOCAL CODE REQUIREMENTS.

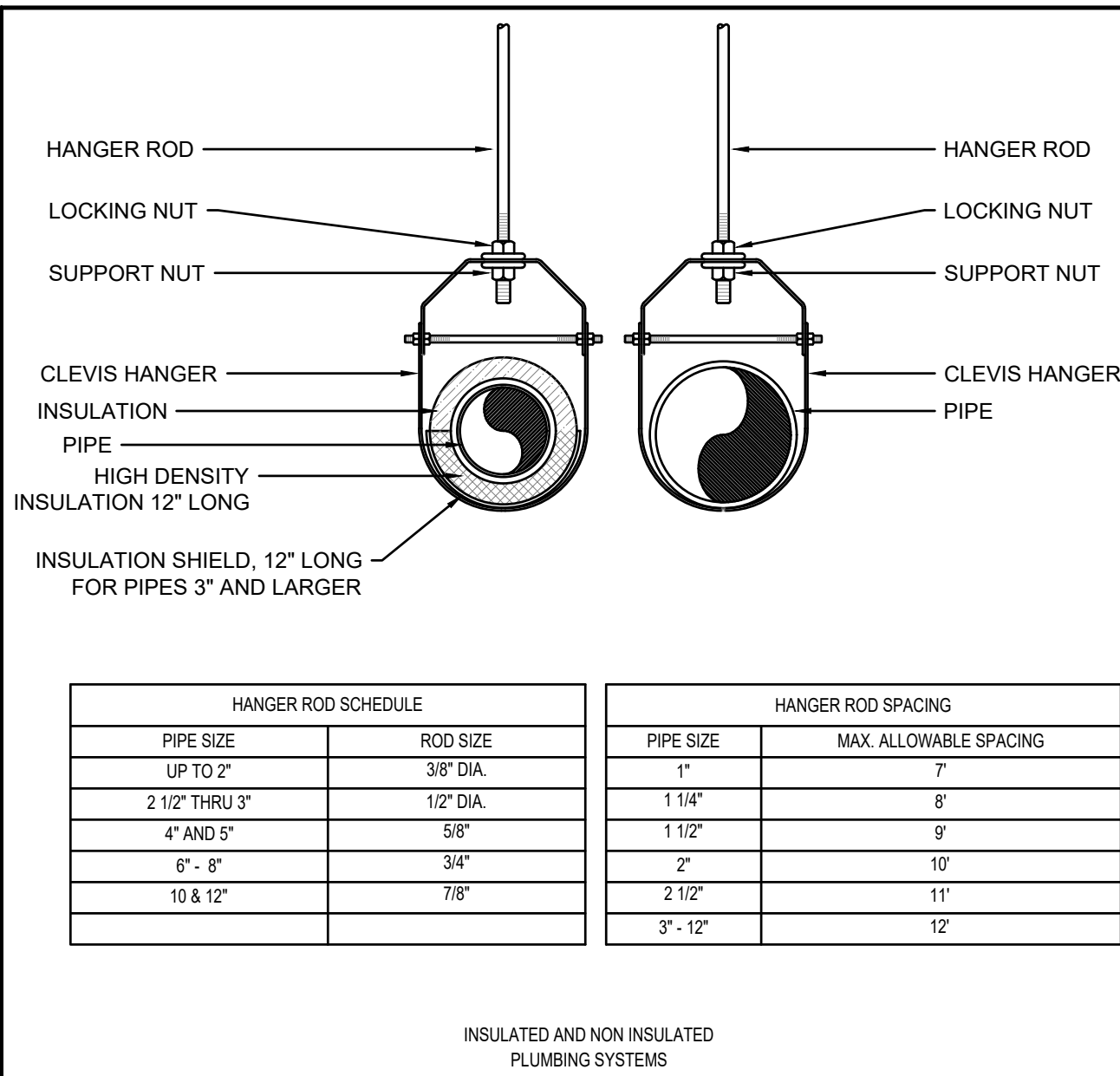
PUMP SCHEDULE

SYMBOL	MANUFACTURER	MODEL #	CAPACITY			ELECTRICAL					REMARKS
			GPM	HEAD	HP	AMPS	VOLTS	PHASE	HZ	RPM	
RP-1	TACO	005	2	10'	1/40	0.54	115	1	60	3250	STAINLESS STEEL CASING, STAINLESS STEEL CARTRIDGE, 125 PSI MAX. 1/2" INLET AND OUTLET CONNECTION SIZE W/ AQUASTAT OPTION

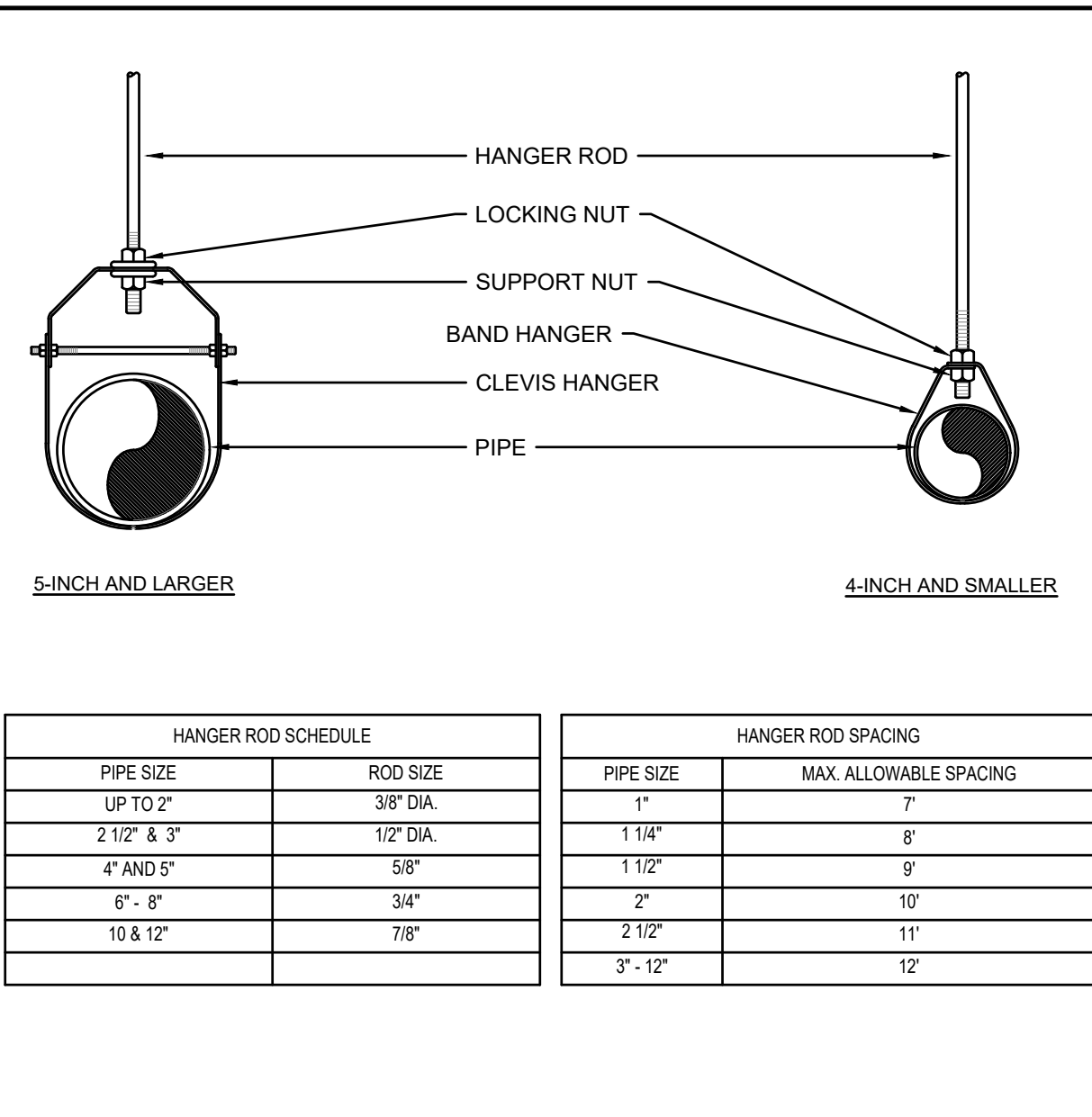
- NOTES:
1. INSTALL PER ALL STATE & LOCAL CODES AND MANUFACTURER'S INSTALLATION REQUIREMENTS. COORDINATE EXACT LOCATION OF PUMP WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.

PLUMBING LEGEND

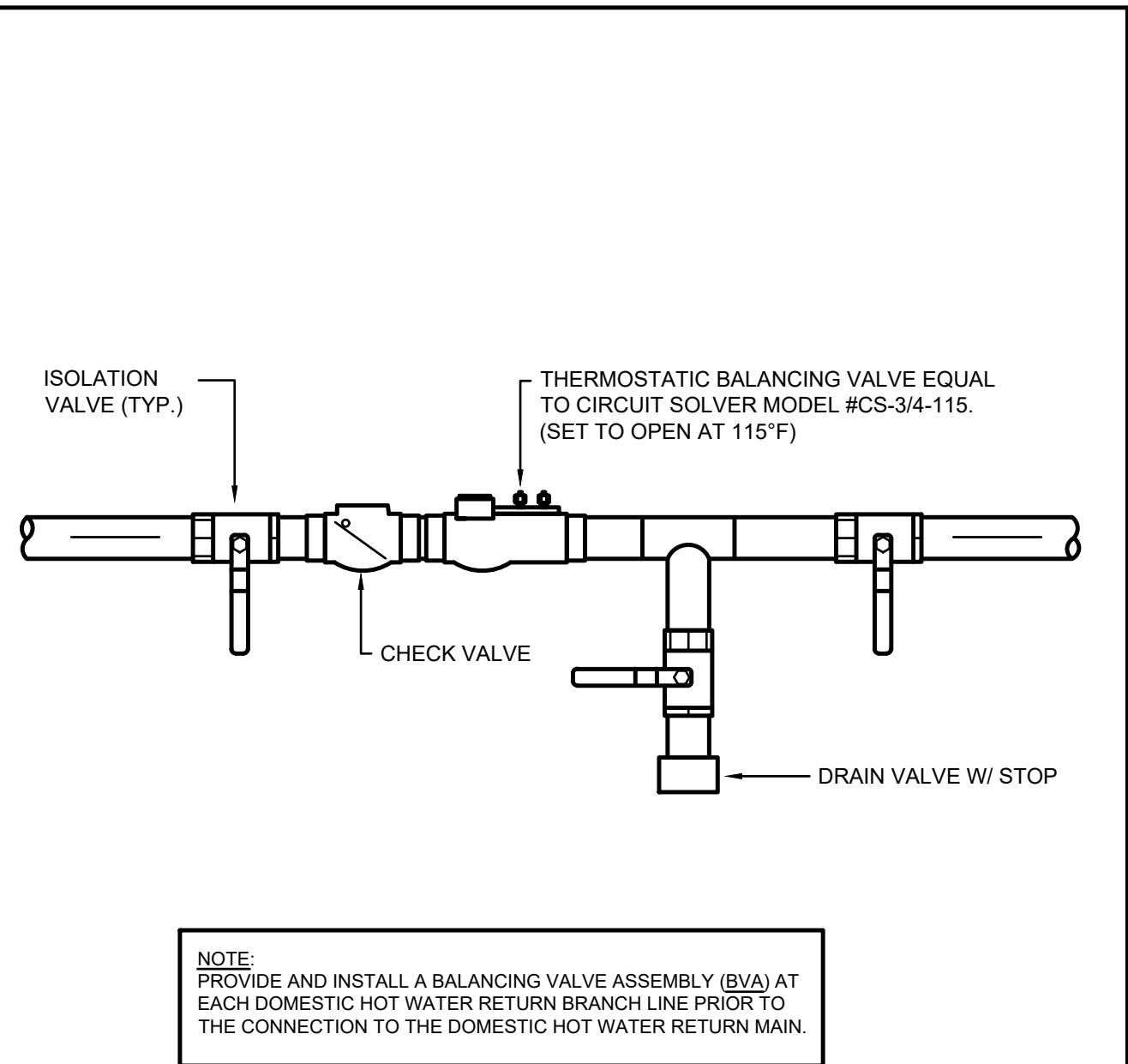
---	ETR	EXISTING TO REMAIN
---	EX	EXISTING PIPING
---	RE	REMOVE EXISTING PIPING
---	C&C	CUT & CAP
---	CW	COLD WATER
---	CW	COLD WATER BELOW FLOOR OR BURIED
---	HW	HOT WATER
---	HWR	HOT WATER RETURN
---	SW	SOIL OR WASTE BELOW FLOOR OR BURIED
---	V	VENT
---	CONTINUATION	CONTINUATION
---	DR/DN	PIPE DROP OR DOWN
---	BLV	BALL VALVE
---	VIV	VALVE IN VERTICAL
---	W&T	WASTE & TRAP
---	CAPPED PIPE	CAPPED PIPE
---	UNION	UNION
---	CTE	CONNECT TO EXISTING
---	WTS	WATERTIGHT SLEEVE
---	INL	INLINE PUMP OR CIRCULATOR
---	VIF	VERIFY EXACT LOCATION, SIZE & CONNECTION IN FIELD
---	I.E.	INVERT ELEVATION
---	TYP	TYPICAL
---	NTS	NOT TO SCALE
---	AFF	ABOVE FINISHED FLOOR
---	FFE	FINISHED FLOOR ELEVATION
---	LPC	LIMIT OF PLUMBING CONTRACT
---	GC	GENERAL CONTRACTOR
---	FPC	FIRE PROTECTION CONTRACTOR
---	PC	PLUMBING CONTRACTOR
---	EC	ELECTRICAL CONTRACTOR
---	HVAC	HVAC CONTRACTOR
---	S=01	SLOPE = 1/8" PER FOOT
---	S=02	SLOPE = 1/4" PER FOOT



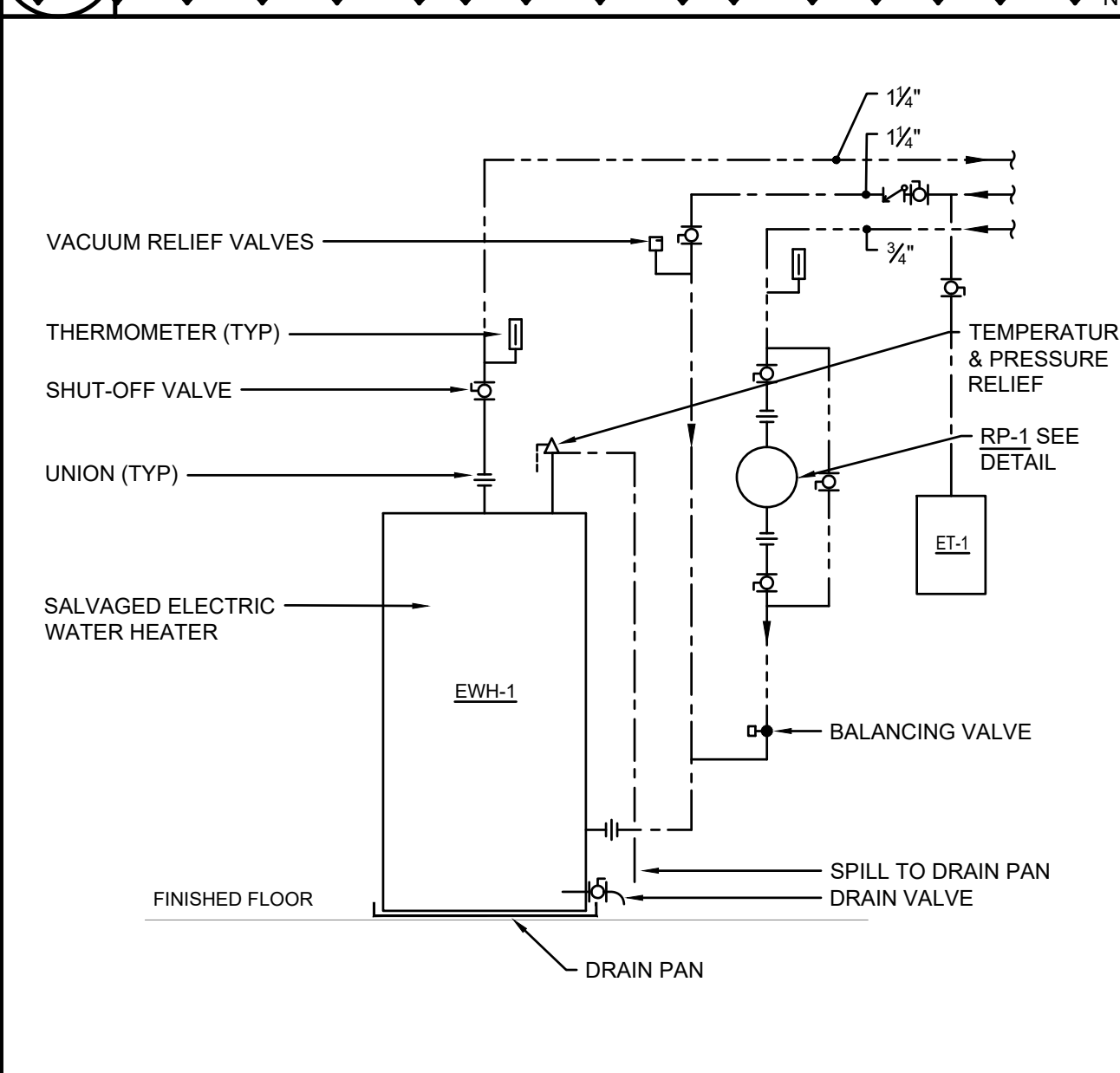
1 CLEVIS PIPE HANGER/ROD INSTALLATION



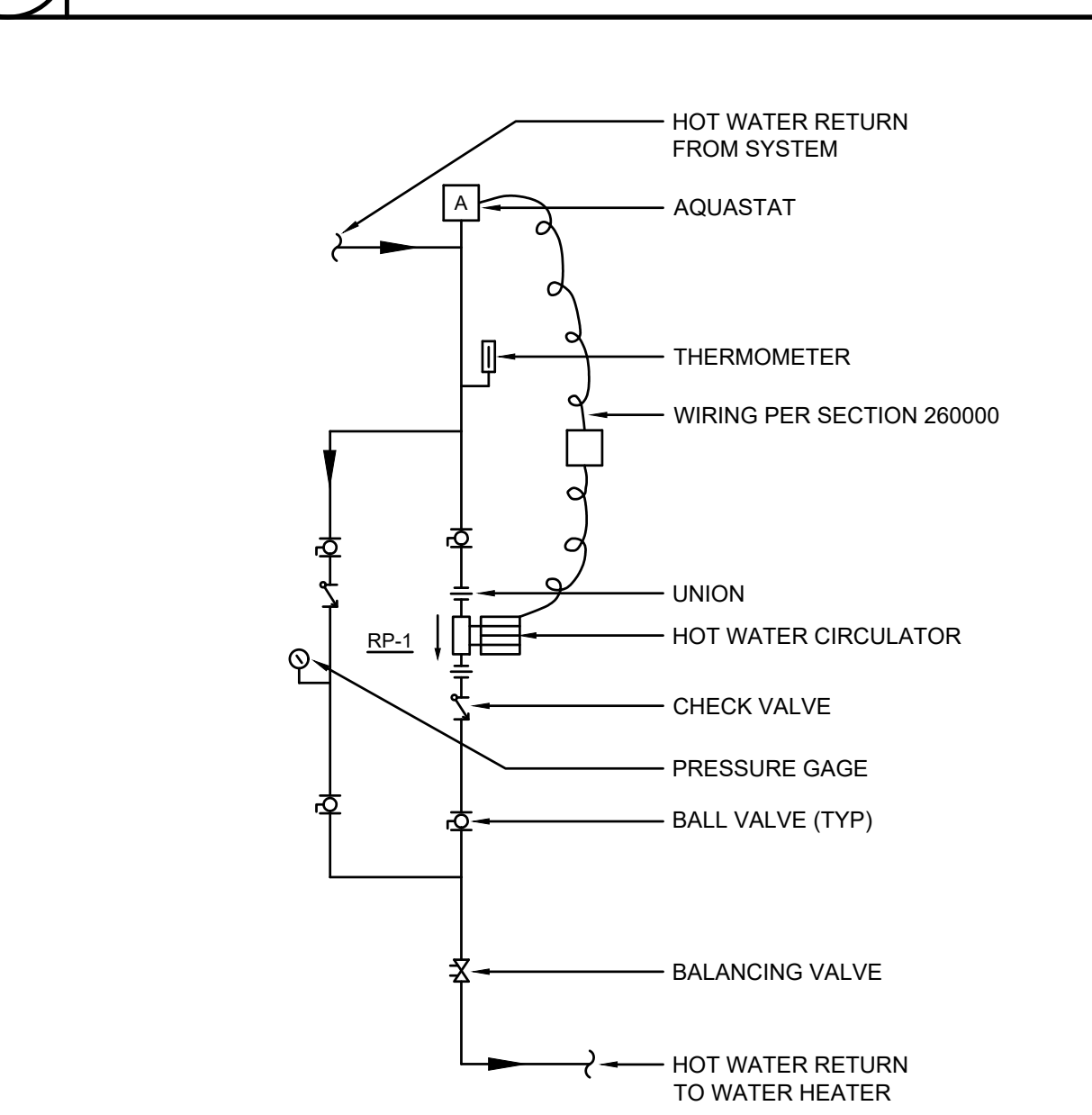
2 CLEVIS-BAND HANGER/ROD INSTALLATION



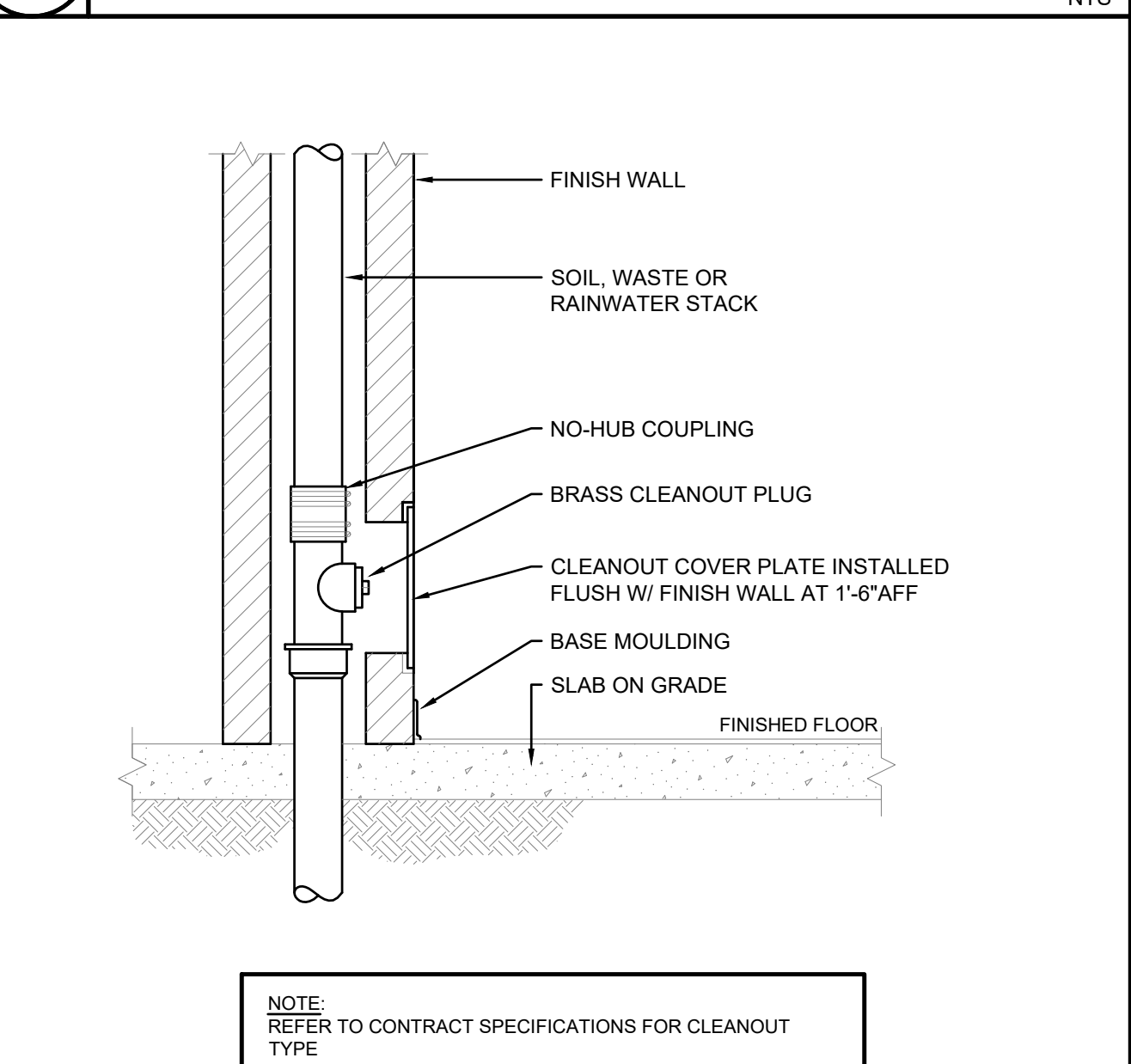
3 BALANCING VALVE ASSEMBLY DETAIL



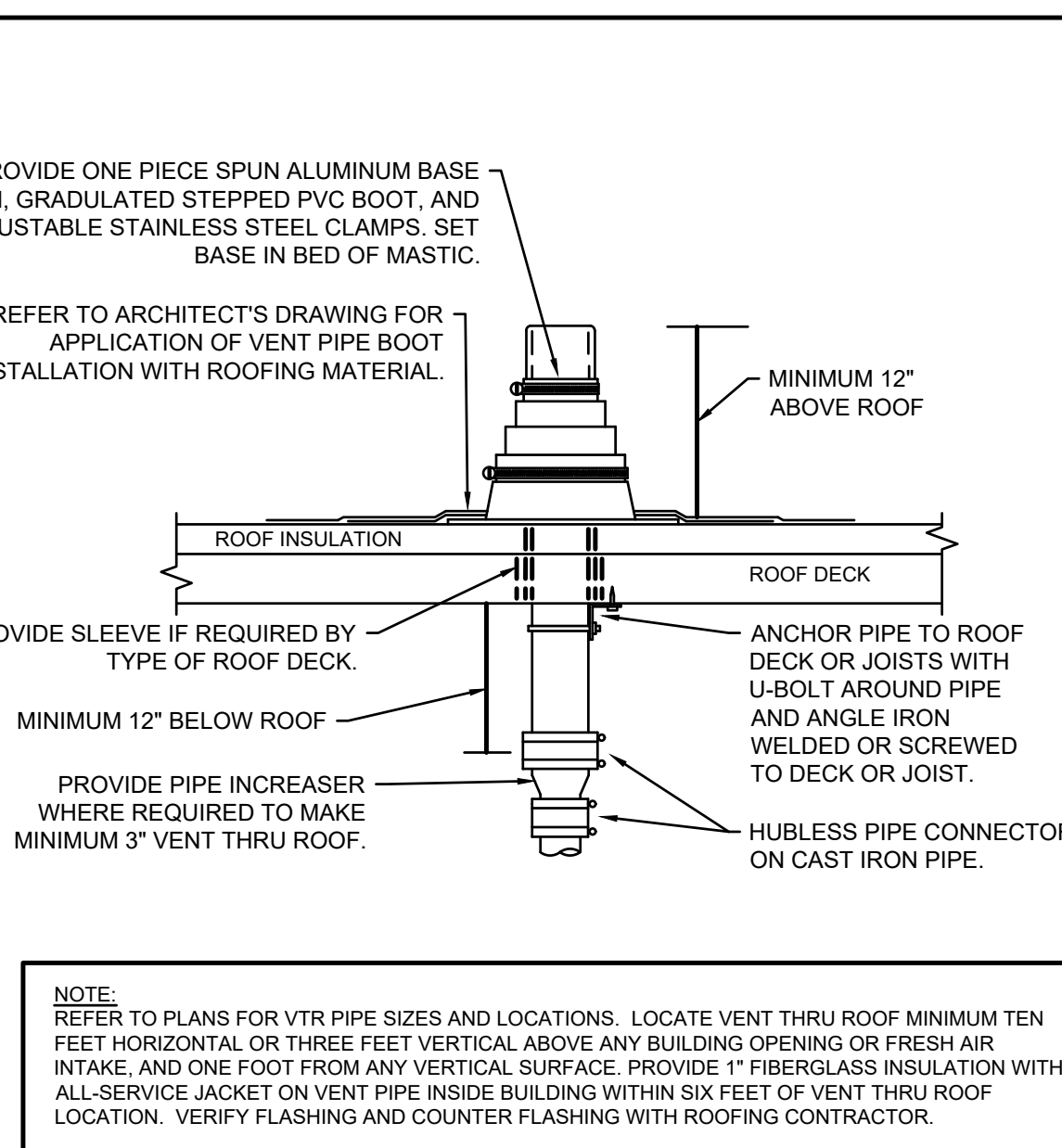
4 ELECTRIC WATER HEATER DIAGRAM



5 HOT WATER CIRCULATOR DIAGRAM



6 FLUSH WALL CLEANOUT DIAGRAM



7 VENT THRU ROOF DETAIL

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Date: JULY 6, 2026

Drawn by: EA Proj. Mgr.: ARV

Revisions

No. Date Description

ADDENDUM #3

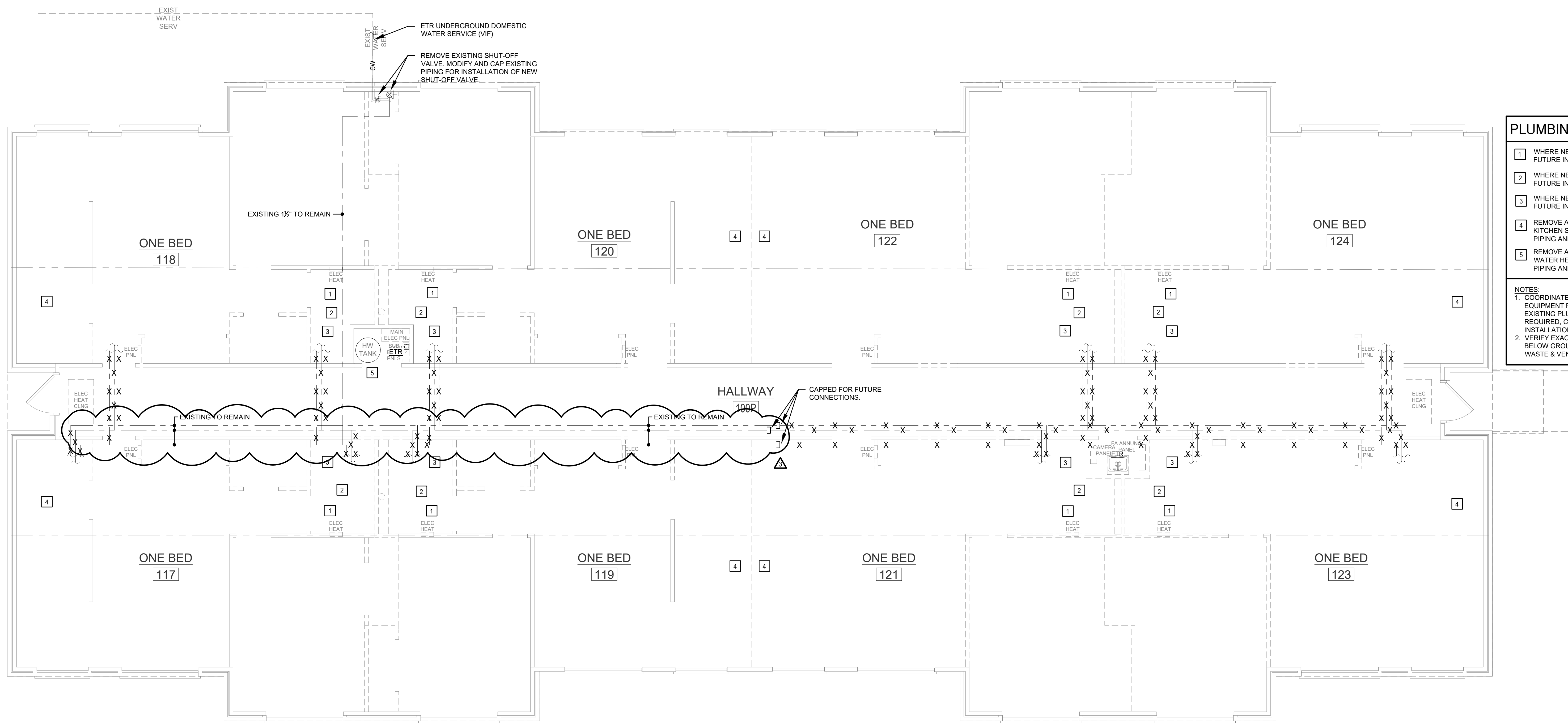
Lincoln Manor
Building P - Renovations



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

PLUMBING LEGEND,
SCHEDULES, DETAILS
& NOTES

P0.1

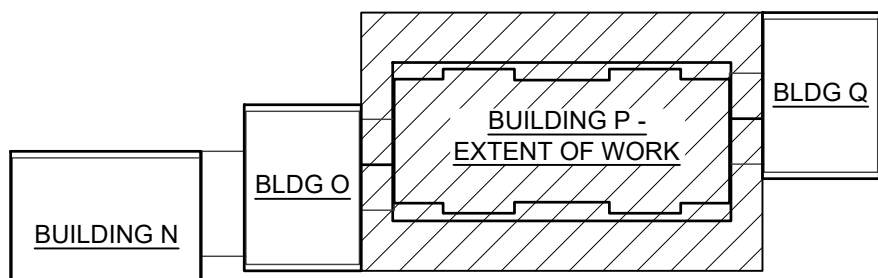


PLUMBING DEMO KEY NOTES

- 1 WHERE NECESSARY MODIFY EXISTING PIPING FOR FUTURE INSTALLATION OF NEW WATER CLOSET.
- 2 WHERE NECESSARY MODIFY EXISTING PIPING FOR FUTURE INSTALLATION OF NEW LAVATORY.
- 3 WHERE NECESSARY MODIFY EXISTING PIPING FOR FUTURE INSTALLATION OF NEW SHOWER.
- 4 REMOVE AND DISCARD EXISTING PIPING FROM KITCHEN SINK AND FAUCET. REMOVE ALL ASSOCIATED PIPING AND CAP BACK TO MAIN.
- 5 REMOVE AND SALVAGE EXISTING ELECTRIC WATER HEATER. REMOVE ALL ASSOCIATED PIPING AND CAP BACK TO MAIN.

- NOTES:
1. COORDINATE EXISTING PLUMBING FIXTURES AND EQUIPMENT PRIOR TO REMOVAL. SALVAGE ANY EXISTING PLUMBING FIXTURES & EQUIPMENT AS REQUIRED. CLEAN AND STORE FOR FUTURE INSTALLATION.
 2. VERIFY EXACT LOCATIONS OF ALL ABOVE AND BELOW GROUND DOMESTIC WATER, SANITARY WASTE & VENT SUPPLY & MAIN PIPING IN FIELD.

1 BUILDING "P" DEMOLITION PLAN - PLUMBING
PD1.1 1/4" = 1'-0"



KEY PLAN N.T.S.

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Date: JULY 6, 2026

Drawn by: EA Proj. Mgr.: ARV

Revisions

No.	Date	Description
Δ	07-24-2026	ADDENDUM #3

Lincoln Manor
Building P - Renovations



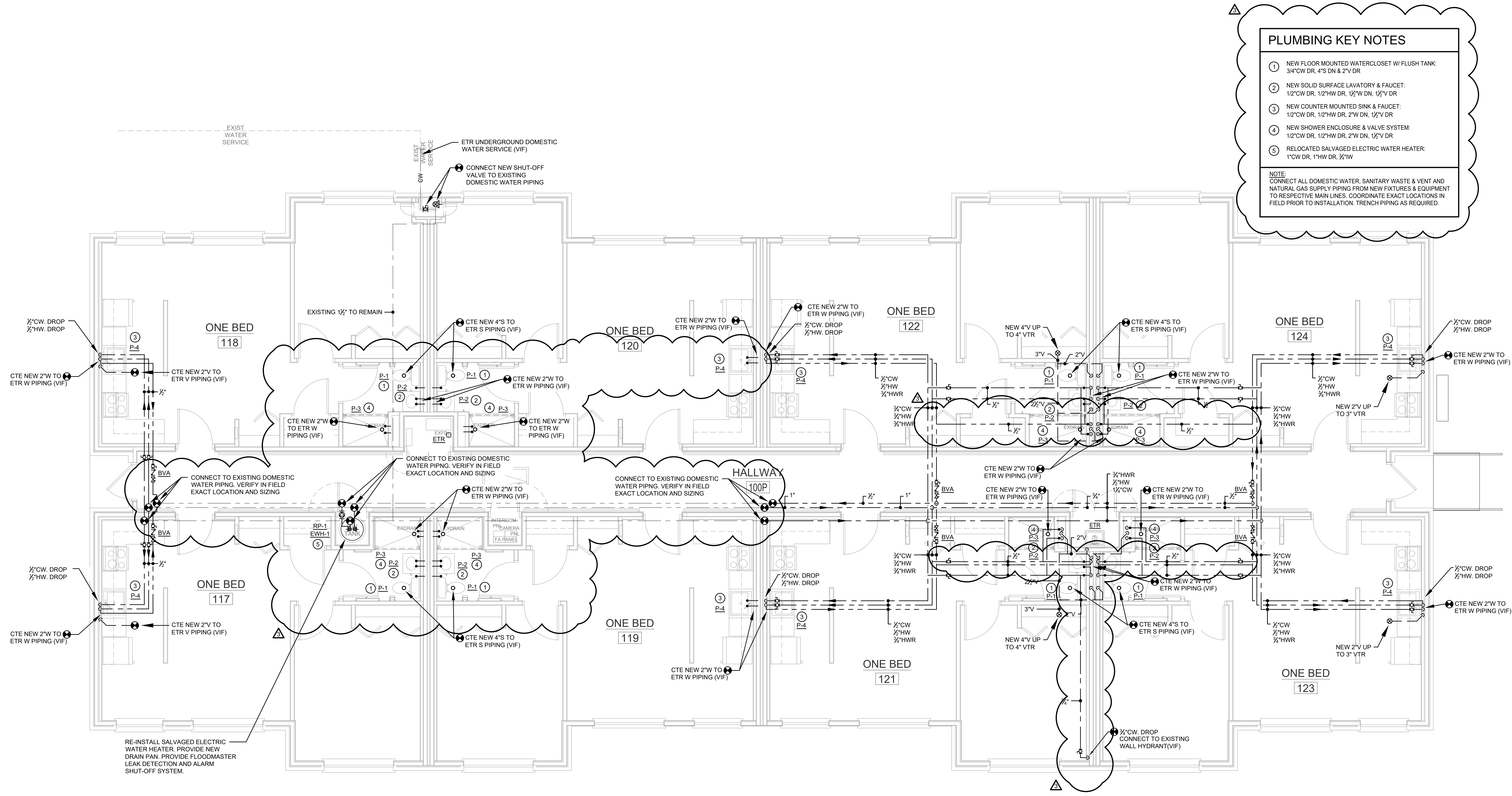
Lincoln Housing Authority
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PLUMBING
DEMOLITION PLAN

PD1.1

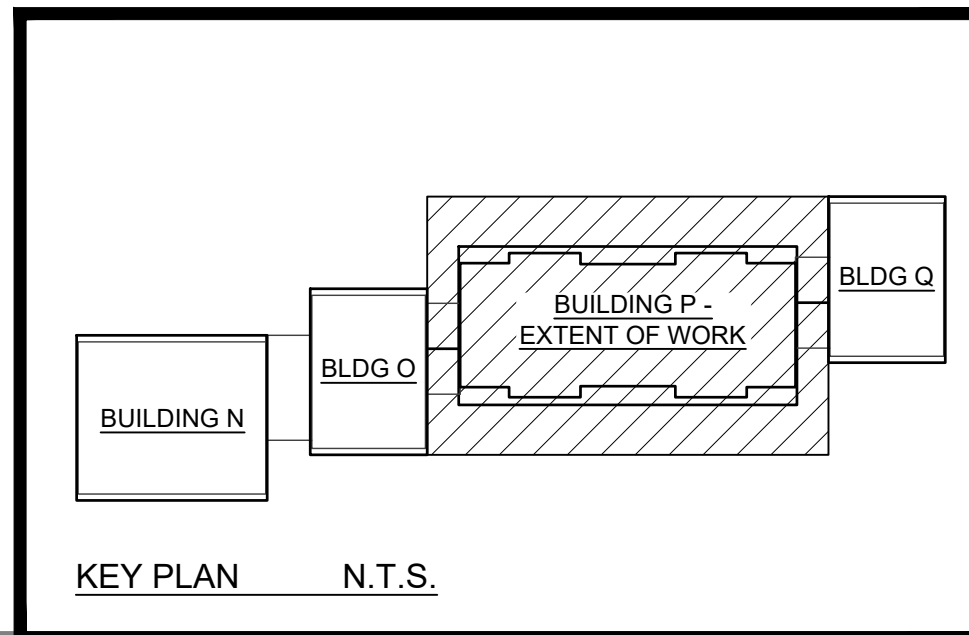
25 of 43

BER #26085



- PLUMBING KEY NOTES**
- 1 NEW FLOOR MOUNTED WATERCLOSET W/ FLUSH TANK:
3/4\"CW DR, 4\"S DN & 2\"V DR
 - 2 NEW SOLID SURFACE LAVATORY & FAUCET:
1/2\"CW DR, 1/2\"HW DR, 1/2\"W DN, 1/2\"V DR
 - 3 NEW COUNTER MOUNTED SINK & FAUCET:
1/2\"CW DR, 1/2\"HW DR, 2\"W DN, 1/2\"V DR
 - 4 NEW SHOWER ENCLOSURE & VALVE SYSTEM:
1/2\"CW DR, 1/2\"HW DR, 2\"W DN, 1/2\"V DR
 - 5 RELOCATED SALVAGED ELECTRIC WATER HEATER:
1\"CW DR, 1\"HW DR, 3/4\"W
- NOTE:
CONNECT ALL DOMESTIC WATER, SANITARY WASTE & VENT AND NATURAL GAS SUPPLY PIPING FROM NEW FIXTURES & EQUIPMENT TO RESPECTIVE MAIN LINES. COORDINATE EXACT LOCATIONS IN FIELD PRIOR TO INSTALLATION. TRENCH PIPING AS REQUIRED.

1 BUILDING "P" BASE BID PLAN - PLUMBING
P1.1 1/4" = 1'-0"



- GENERAL NOTES**
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Date: JULY 6, 2026		
Drawn by:	EA	Proj. Mgr.: ARV
Revisions		
No.	Date	Description
Δ	07-24-2026	ADDENDUM #3



PLUMBING "P" BASE BID PLAN

P1.1

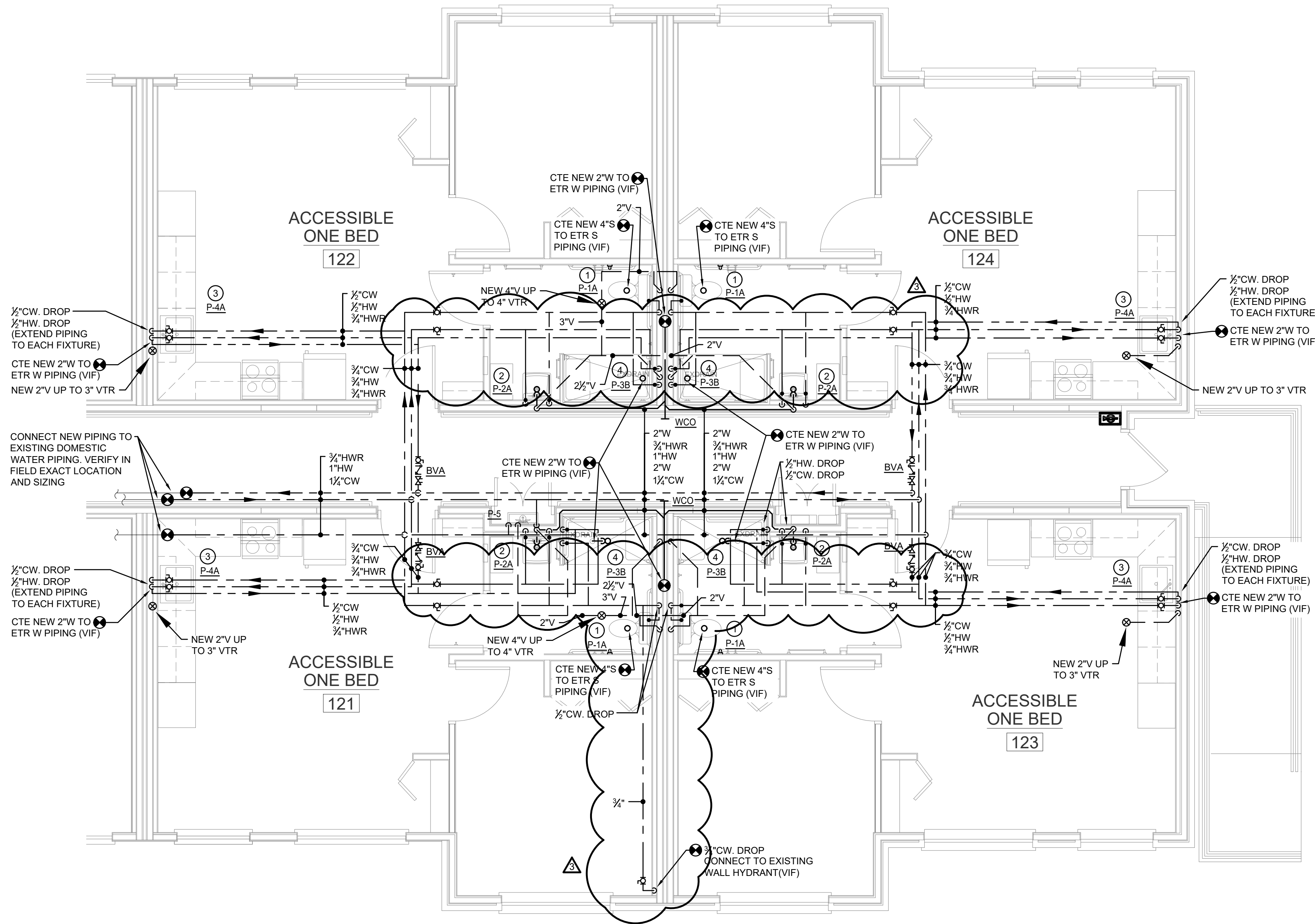
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PLUMBING FIXTURE SCHEDULE - ALTERNATE															
SYMBOL	DESCRIPTION	FIXTURE				FIXTURE				SERVICES					REMARKS
		MANUFACTURER	MODEL	TYPE	SIZE	MANUFACTURER	MODEL	TYPE	SW	V	CW	HW	TW		
P-1A	WATER CLOSET	KOHLER	K-37740	FLOOR MOUNTED	-	-	-	1.28 GPF	4"	2"	1/2"	-	-	VITREOUS CHINA, ELONGATED, TANK TYPE PROVIDE MODEL K-4731-C SOFT-CLOSE TOILET SEAT/COVER.	
P-2A	LAVATORY - ADA	KOHLER	K-2005	WALL HUNG	21"x18"	MOEN	L45711	0.5 GPM MANUAL	2"	2"	1/2"	1/2"	-	POLISHED CHROME FAUCET W/ GRID STRAINER DRAIN. PROVIDE CHROME PLATED HEAVY DUTY P-TRAP W/ CLEANOUT, SUPPLIES & STOPS. PROVIDE TRUEBRO LAVAGUARD INSULATION ON EXPOSED PIPING. PROVIDE WALL CARRIER, BARRIER FREE, ADA COMPLIANT.	
P-3B	ADA SHOWER	BEST BATH	5LBS9034E75B L/R	MULTI PIECE SURROUND	60"x34"	SYMMONS	C-96-500-B30-V-X	1.75 GPM	2"	2"	1/2"	1/2"	1/2"	SHOWER/HAND SHOWER SYSTEM WITH TEMPITROL PRESSURE BALANCING SHOWER VALVE AND SYMMONS DUAL OUTLET DIVERTER VALVE. COORDINATE SHOWER VALVE LOCATION W/ ARCHITECTURAL DRAWINGS.	
P-4	ADA KITCHEN SINK	ELKAY	KAD25226SPD	COUNTERTOP MOUNT	35"x22"x15"	MOEN	N/A	1.5 GPM	2"	2"	1/2"	1/2"	-	PROVIDE TENSING SPRING RUBBER CARTRIDGE DISPOSAL. PROVIDE SINKERATOR SINKTOP SWITCH DUAL OUTLET STS-ON/ON. ADA COMPLIANT.	
P-5	SERVICE SINK	FIAT	MS82424	FLOOR MOUNTED	24"x24"x10"	CHICAGO	540-LD897SGCOP	MANUAL	3"	2"	1/2"	1/2"	-	FLOOR MOUNTED, MOLDED STONE, WALL MOUNTED, CHROME PLATED, LEVER FAUCET, VACUUM BREAKER. PROVIDE SPLASH GUARDS, MOPE & HOSE BRACKETS.	
NOTE: 1. ALL ADA FIXTURES SHALL BE INSTALLED PER ADA REQUIREMENTS. 2. COORDINATE THE INSTALLATION OF ALL TUB & SHOWER FIXTURES WITH MANUFACTURERS AND STATE & LOCAL CODE REQUIREMENTS.															

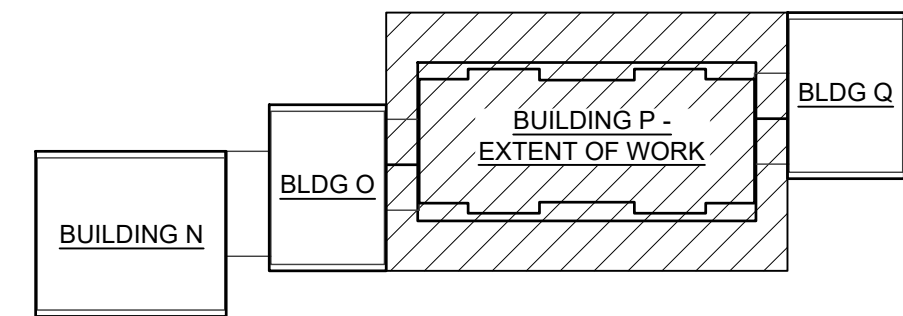
PLUMBING KEY NOTES

- NEW FLOOR MOUNTED WATERCLOSET W/ FLUSH TANK:
1/2"CW DR, 4"S DN & 2"V DR
- NEW SOLID SURFACE LAVATORY & FAUCET:
1/2"CW DR, 1/2"HW DR, 1/2"W DN, 1/2"V DR
- NEW COUNTER MOUNTED SINK & FAUCET:
1/2"CW DR, 1/2"HW DR, 2"W DN, 1/2"V DR
- NEW SHOWER ENCLOSURE & VALVE SYSTEM:
1/2"CW DR, 1/2"HW DR, 2"W DN, 1/2"V DR
- NEW FLOOR MOUNTED SERVICE SINK & FAUCET:
1/2"CW DR, 1/2"HW DR, 3"W DN, 2"V DN

NOTE:
CONNECT ALL DOMESTIC WATER, SANITARY WASTE & VENT SUPPLY PIPING FROM NEW FIXTURES & EQUIPMENT TO RESPECTIVE MAIN LINES. COORDINATE EXACT LOCATIONS IN FIELD PRIOR TO INSTALLATION. TRENCH PIPING AS REQUIRED.



1 BUILDING "P" ALTERNATE PLAN - PLUMBING
P1.1A 1/4" = 1'-0"



KEY PLAN N.T.S.

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Date: JULY 6, 2026

Drawn by: EA Proj. Mgr.: ARV

Revisions

No.	Date	Description
1	07-24-2026	ADDENDUM #3

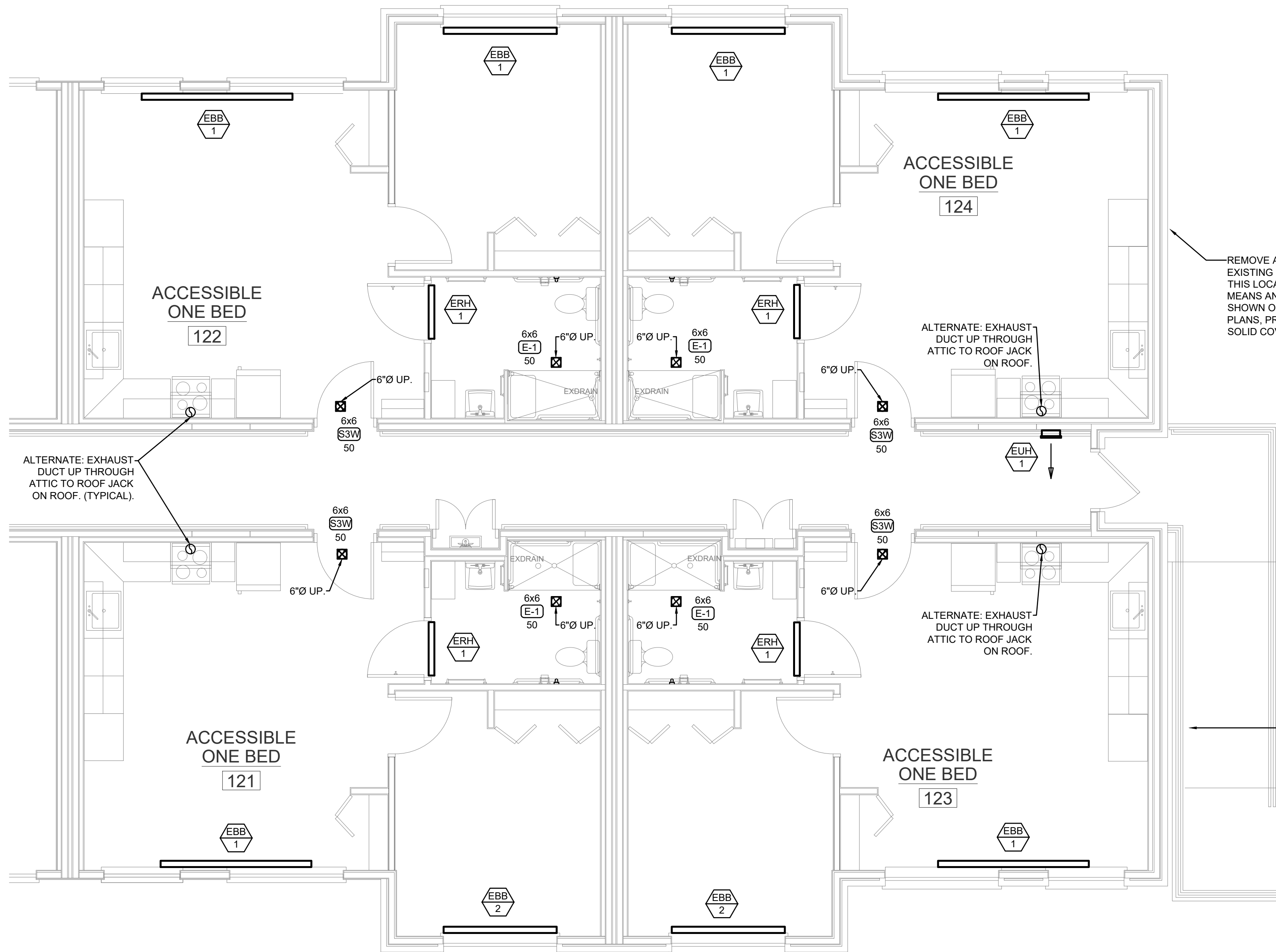
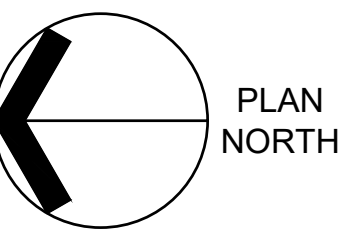
Lincoln Manor
Building P - Renovations



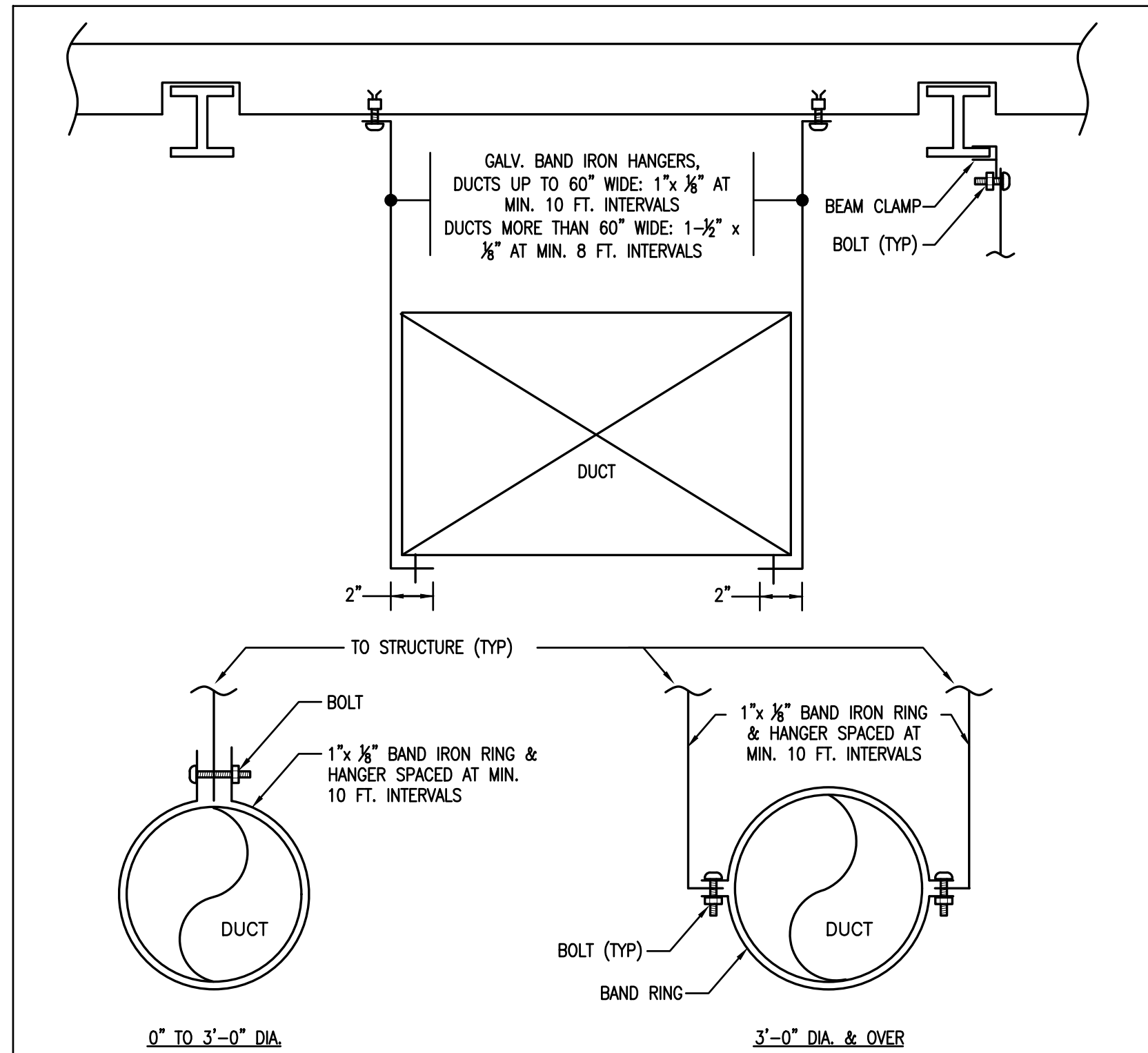
Lincoln Housing Authority
Lincoln Manor (Main Office)
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PLUMBING "P"
ALTERNATE PLAN

P1.1A

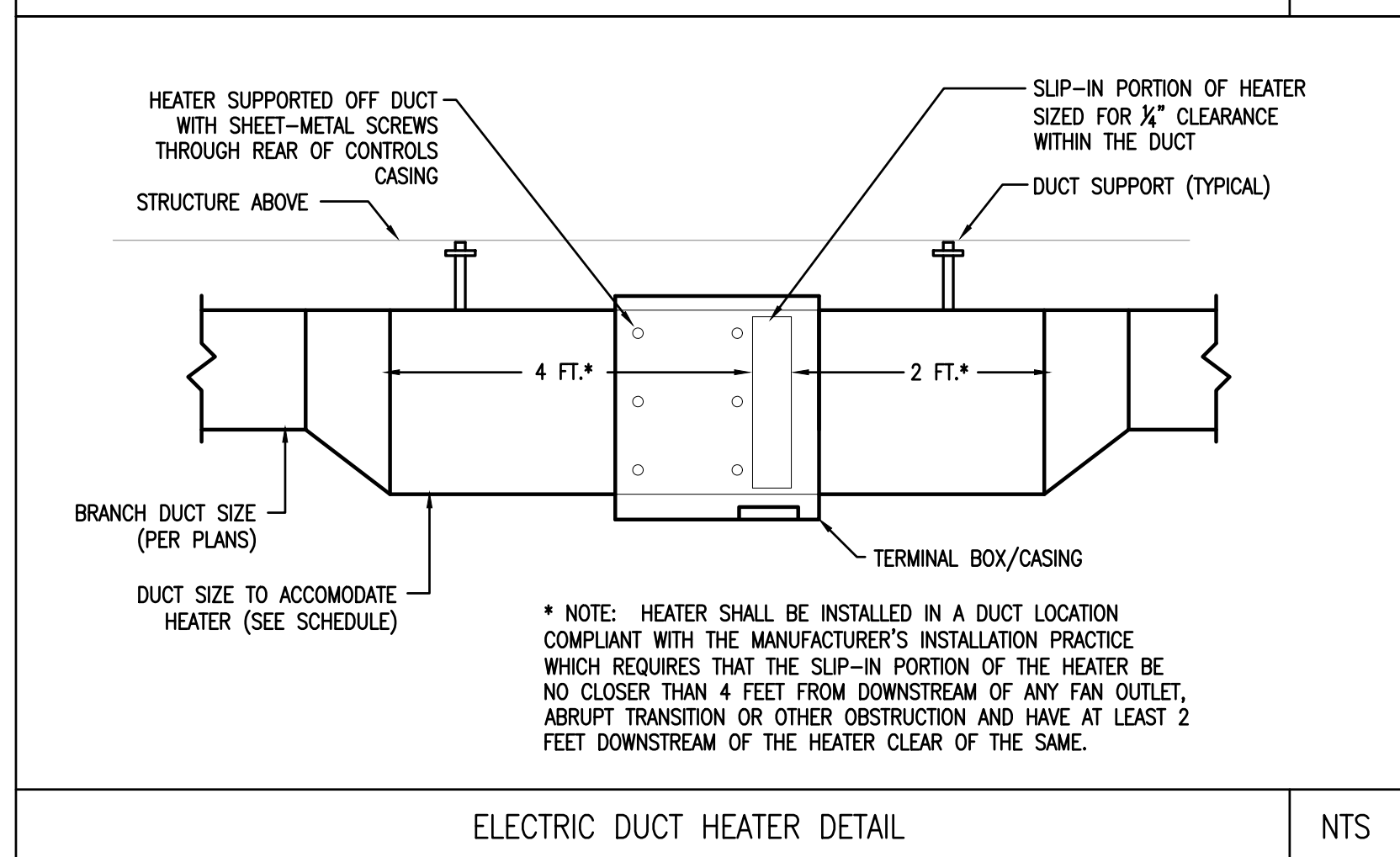


1 BUILDING "P" ALTERNATE PLAN - MECHANICAL
M1.1A 1/4" = 1'-0"



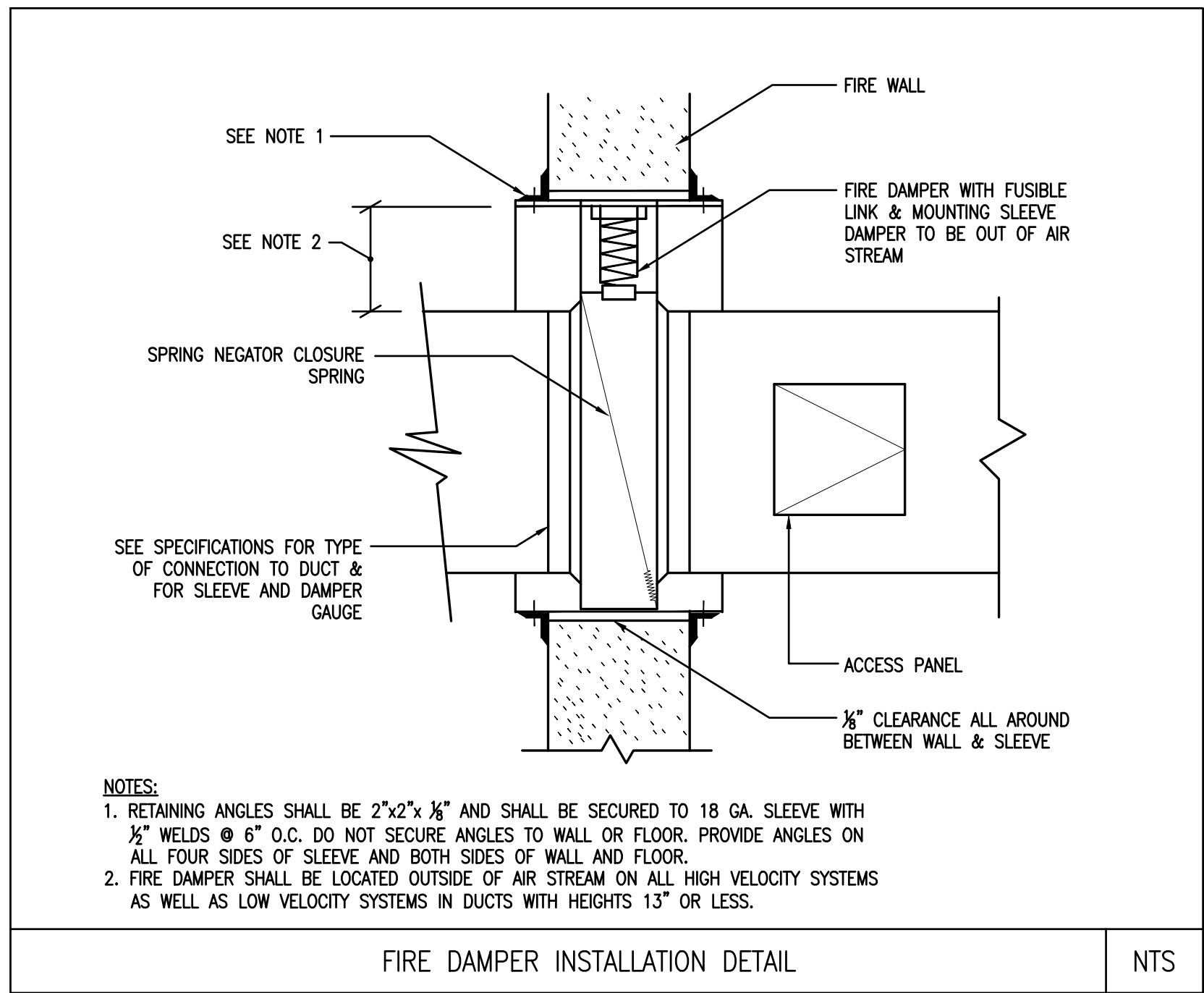
STANDARD DUCTWORK HANGING DETAIL

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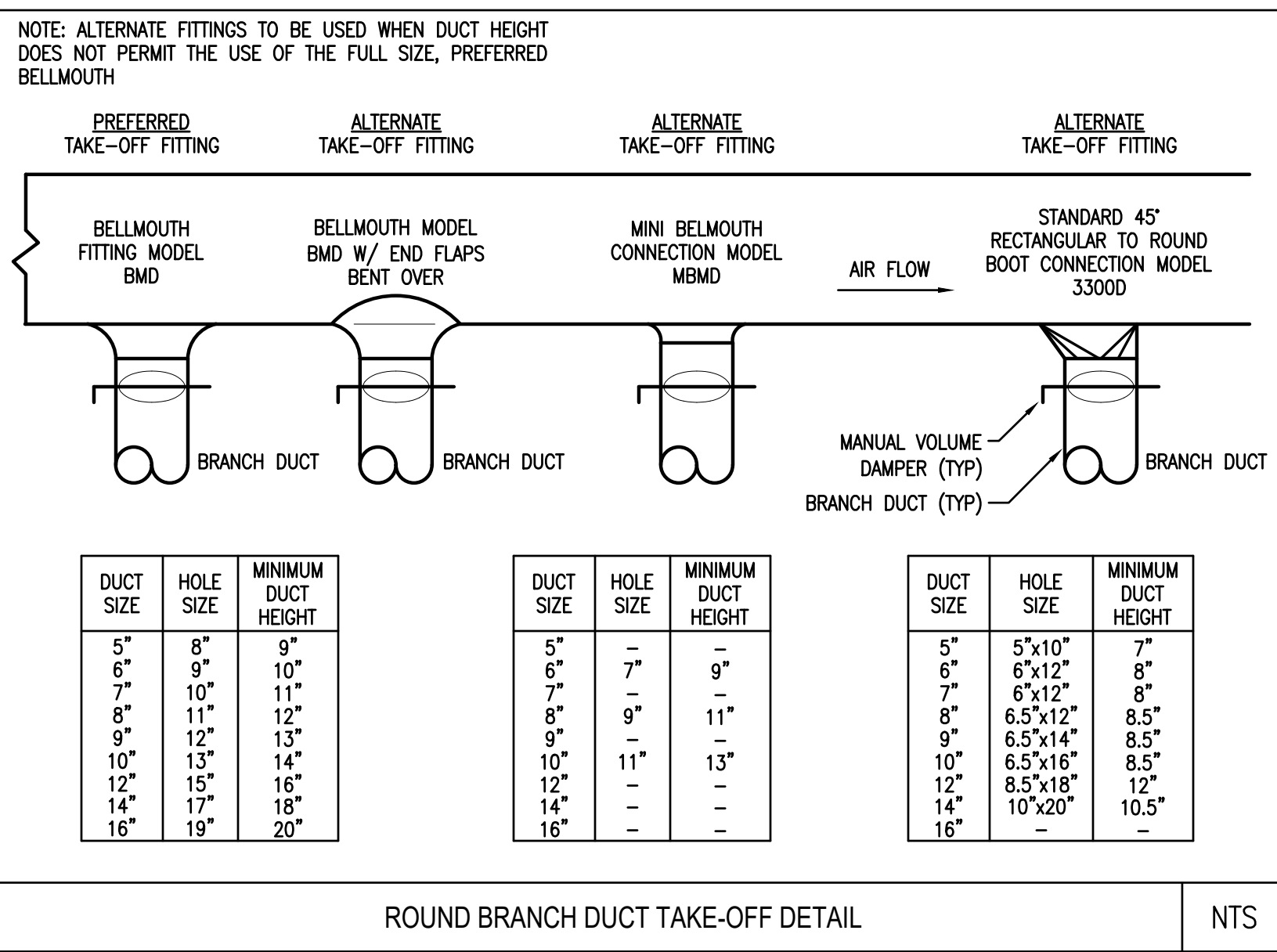
ELECTRIC DUCT HEATER DETAIL

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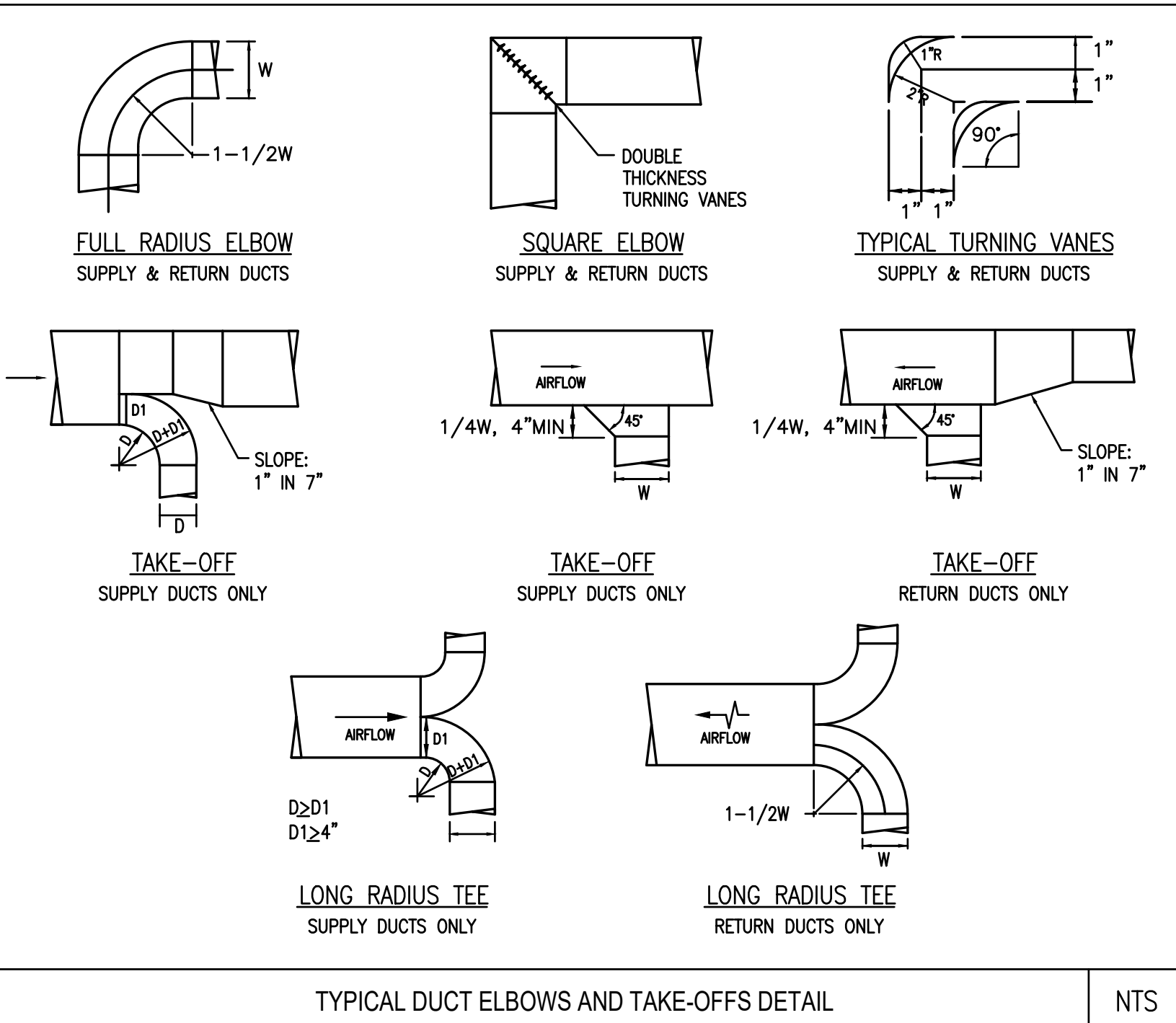
FIRE DAMPER INSTALLATION DETAIL

NTS



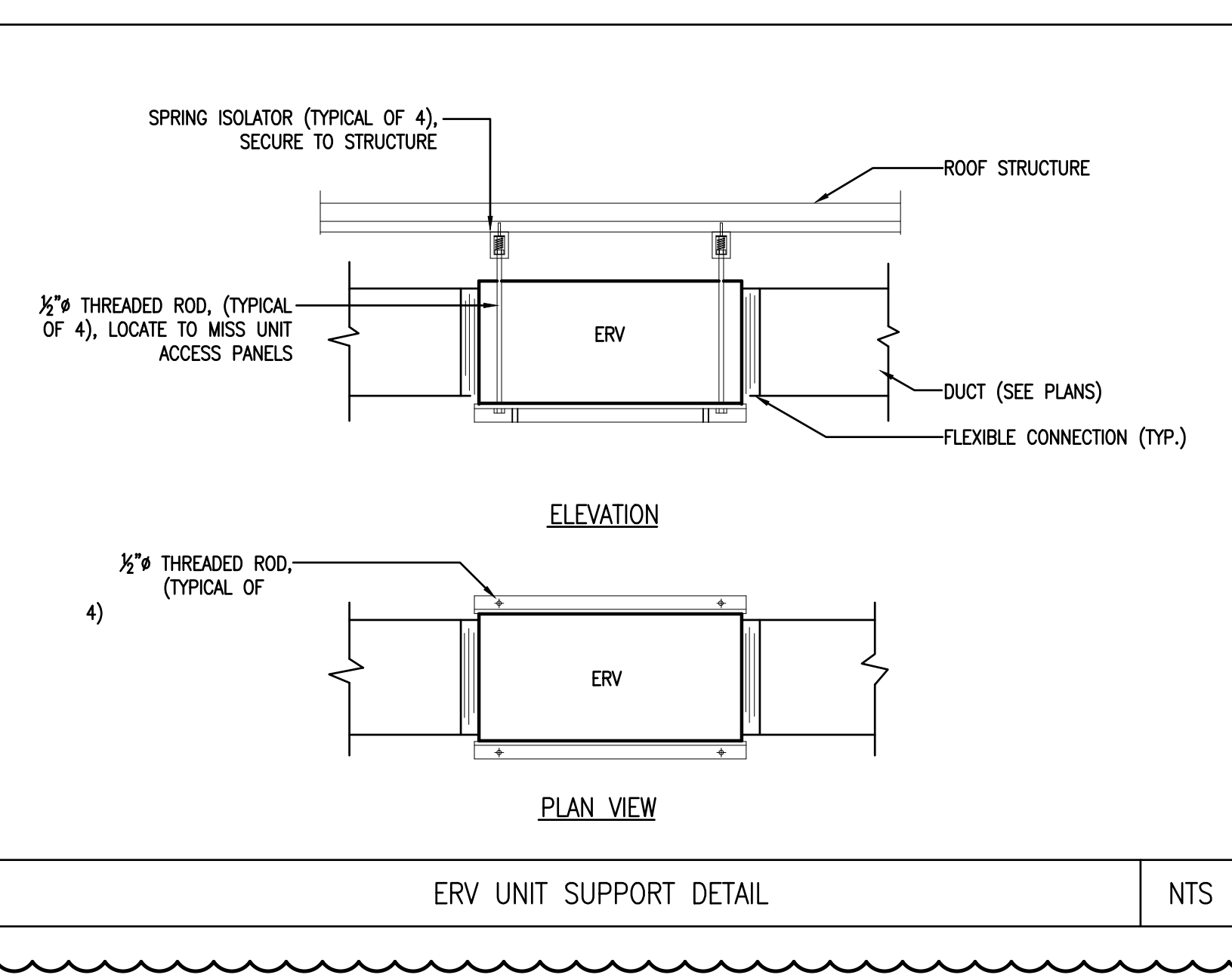
ROUND BRANCH DUCT TAKE-OFF DETAIL

NTS



TYPICAL DUCT ELBOWS AND TAKE-OFFS DETAIL

NTS



ERV UNIT SUPPORT DETAIL

NTS

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Date: JULY 6, 2026
Drawn by: JPK Proj. Mgr.: ARV
Revisions
No. Date Description
A 07-24-2026 ADDENDUM #3

Lincoln Manor
Building P - Renovations



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

MECHANICAL -
ALTERNATE #1
PARTIAL FLOOR PLAN
& DETAILS

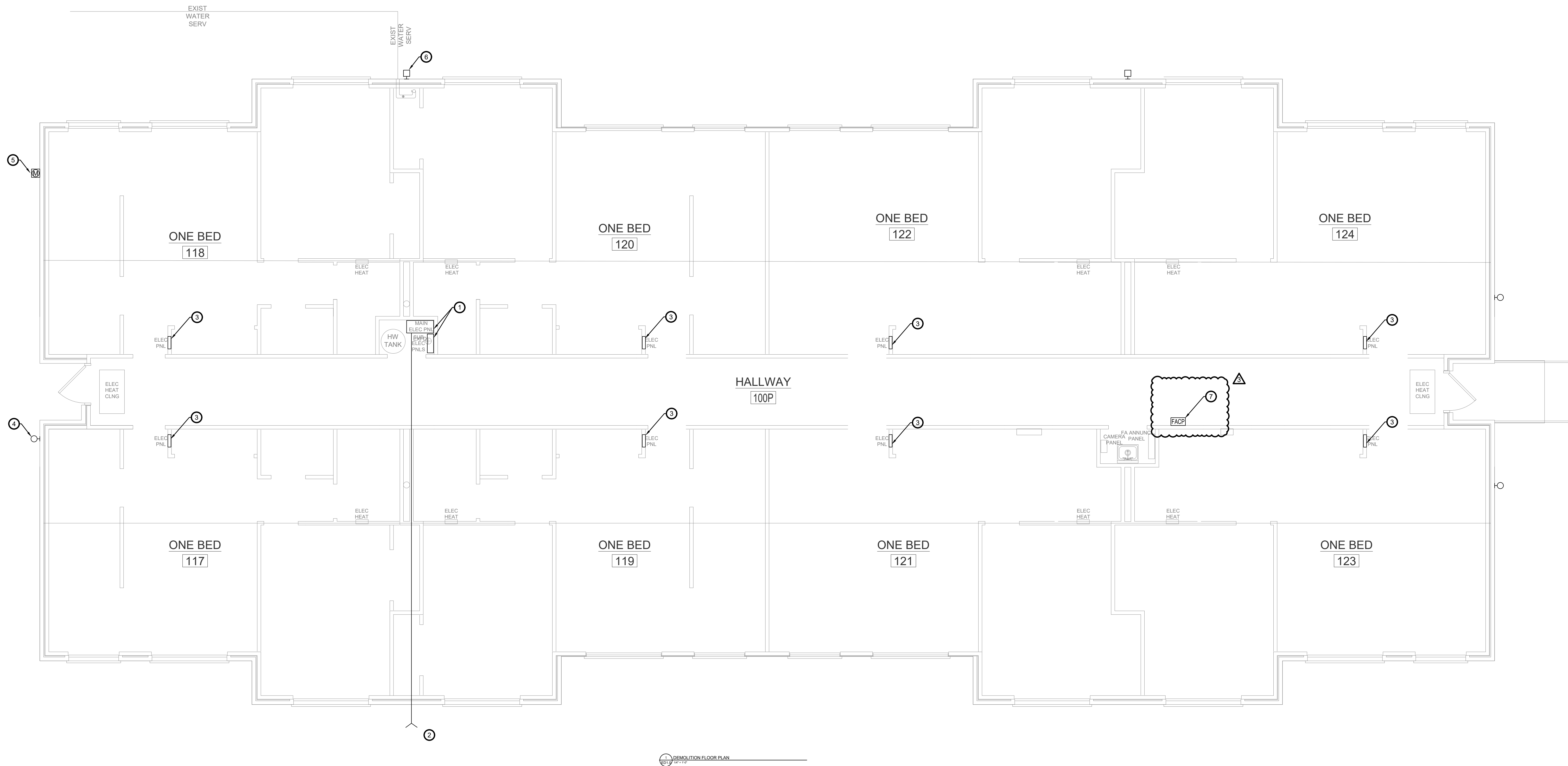
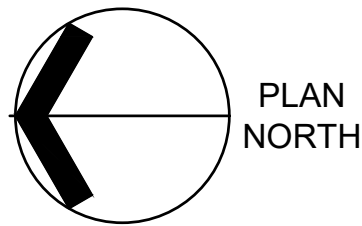
M2.0

26007B-M2.0

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BER #26085

KEYED SHEET NOTES	
1	EXISTING MDP, CT CABINET, TIMECLOCKS, HOUSE PANEL TO BE REMOVED.
2	EXISTING 400 AMP UNDERGROUND SERVICE SHALL REMAIN.
3	EXISTING LOADCENTERS SHALL BE REMOVED. (TYPICAL FOR 8)
4	EXISTING WALL SCENCE TO BE REMOVED AND REPLACED. (TYPICAL FOR 3)
5	EXISTING UTILITY METER TO REMAIN
6	EXISTING LED FLOODLIGHT TO REMAIN. (TYPICAL FOR 2)
7	EXISTING FACP, POWER SUPPLY AND ISOLATION MODULES.



DEMOLITION FLOOR PLAN

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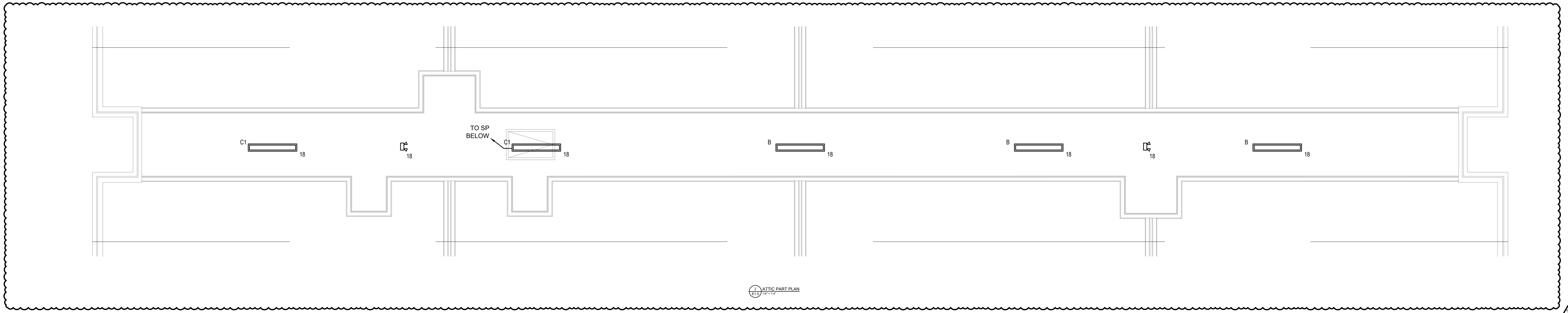
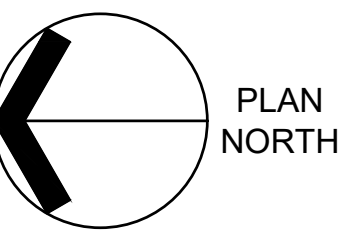
ELECTRICAL FLOOR
PLAN - DEMO

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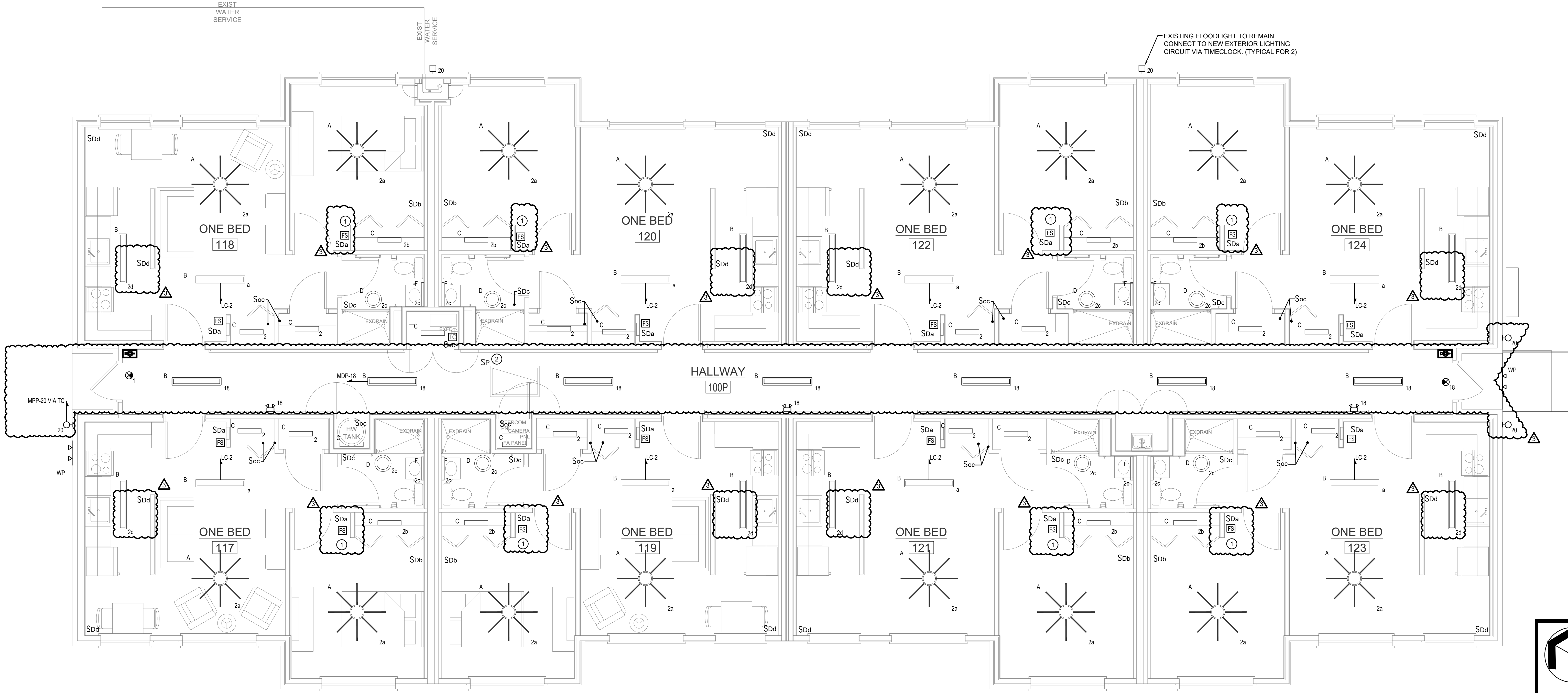
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BER #26095

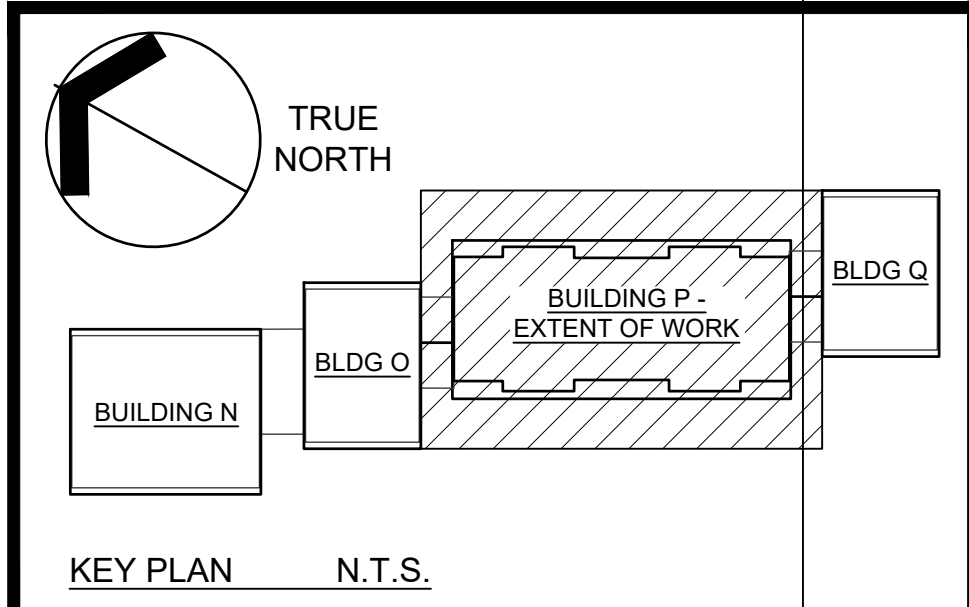


ATTIC PART PLAN
07-110

- FANLIGHT CONTROL SWITCH FURNISHED WITH THE CEILING FAN. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- SWITCH WITH PILOT LIGHT MOUNTED TO CEILING ADJACENT TO ATTIC ACCESS.



LIGHTING FLOOR PLAN BASE BID
07-112



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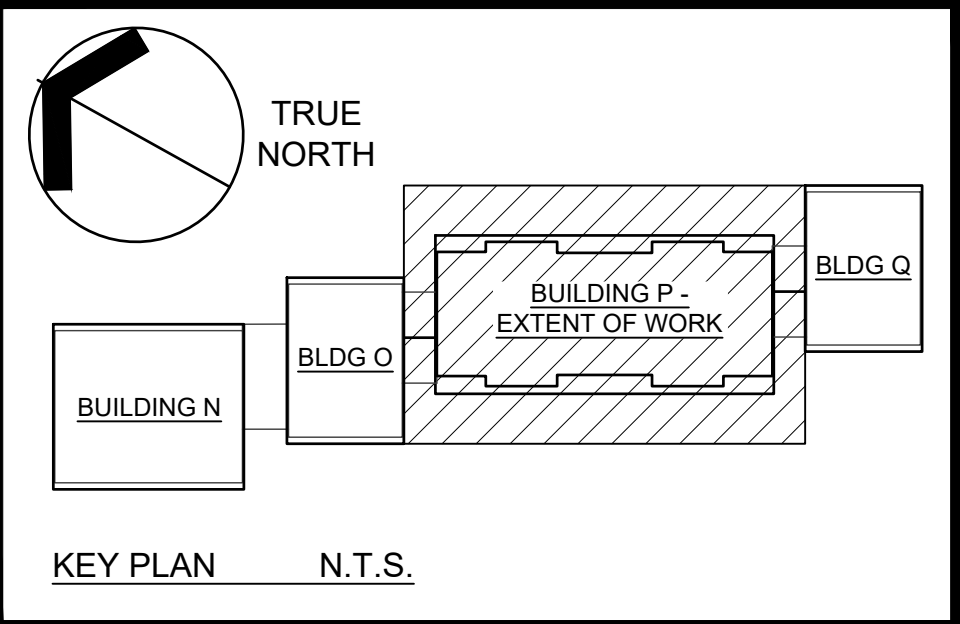
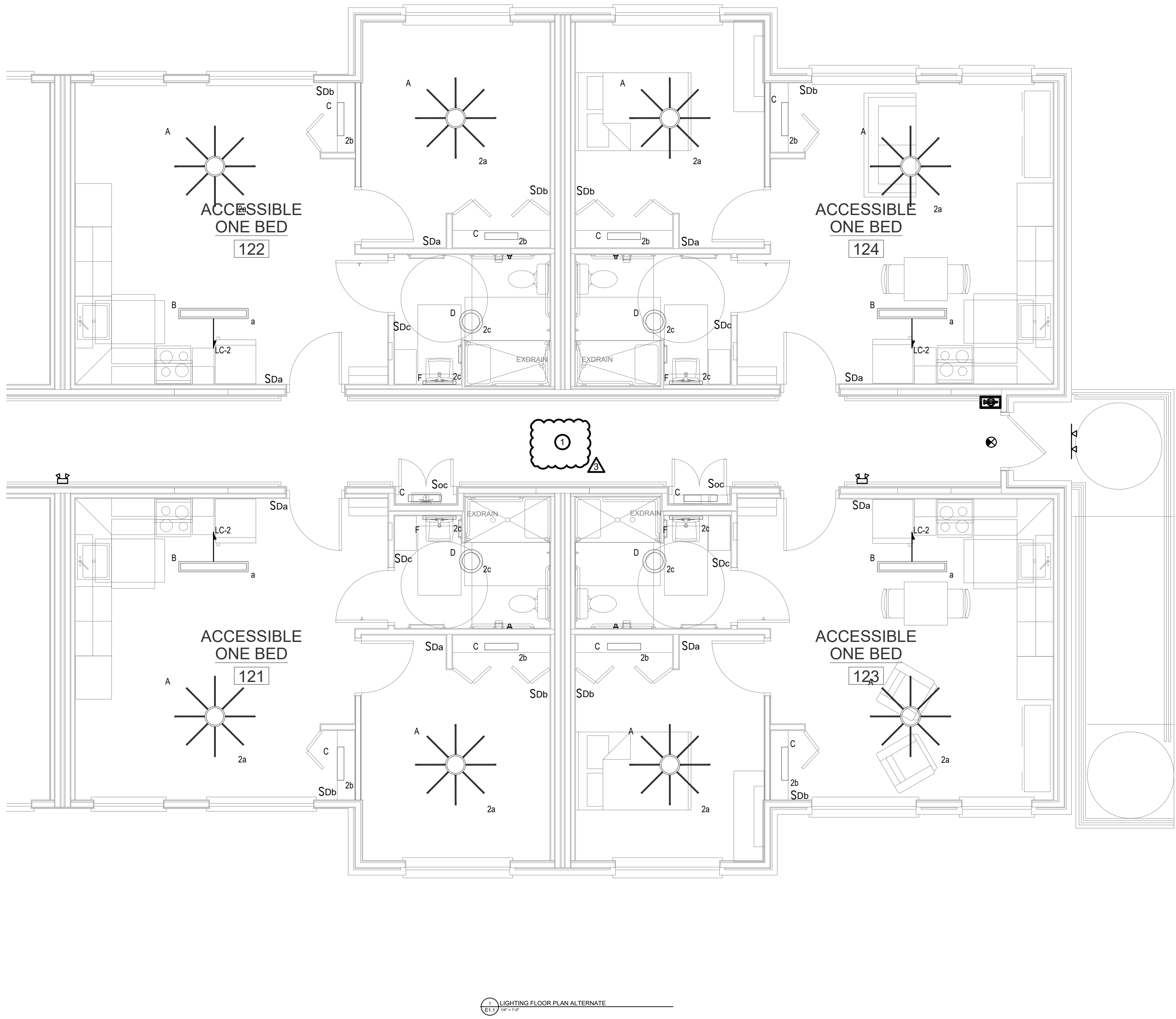
ELECTRICAL FLOOR
PLAN BASE BID -
LIGHTING

E1.0

KEYED SHEET NOTES

○ REFER TO BASE BID BUILDING DRAWINGS FOR CORRIDOR LAYOUT.

PLAN NORTH



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DANIEL JAMES CARROLL

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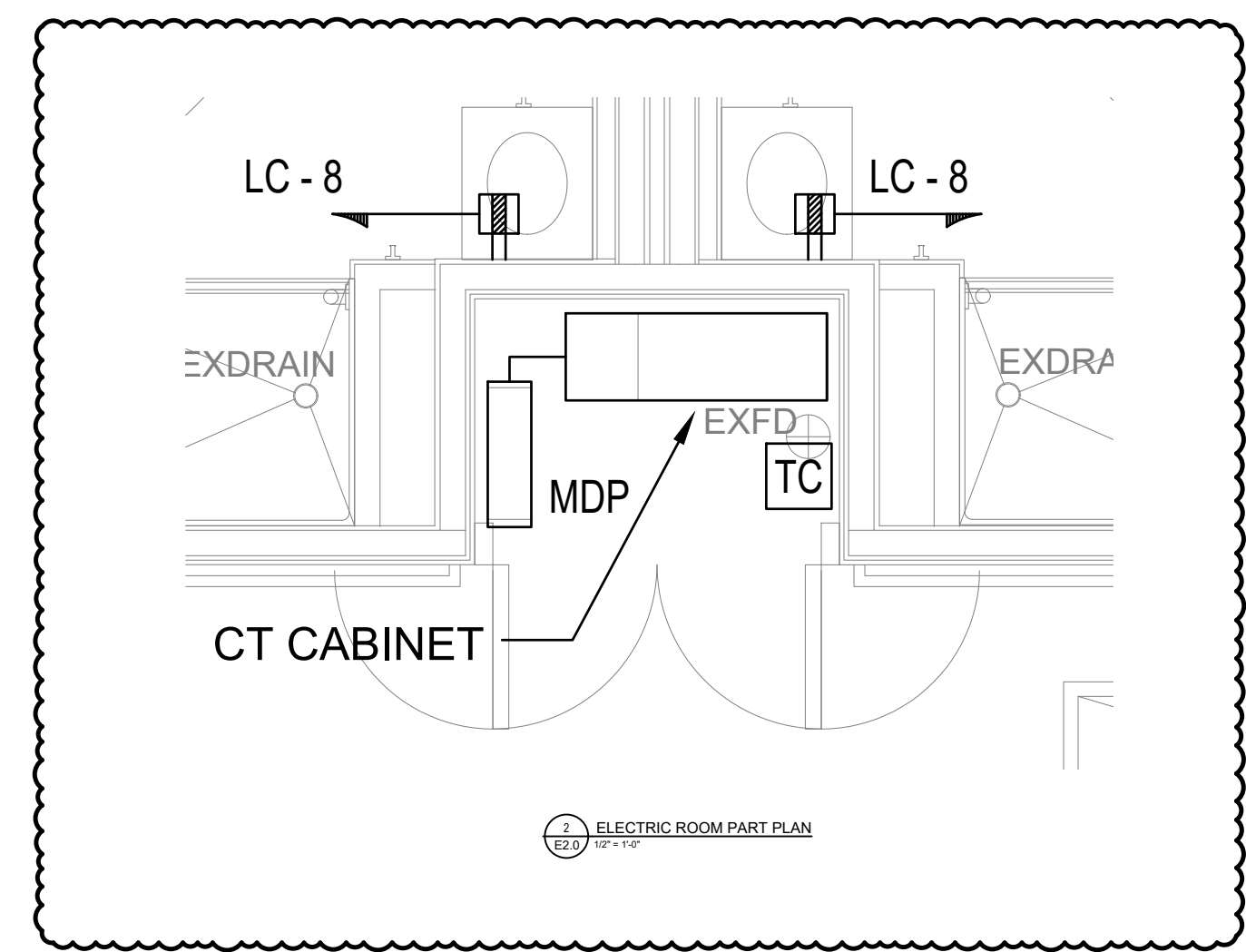
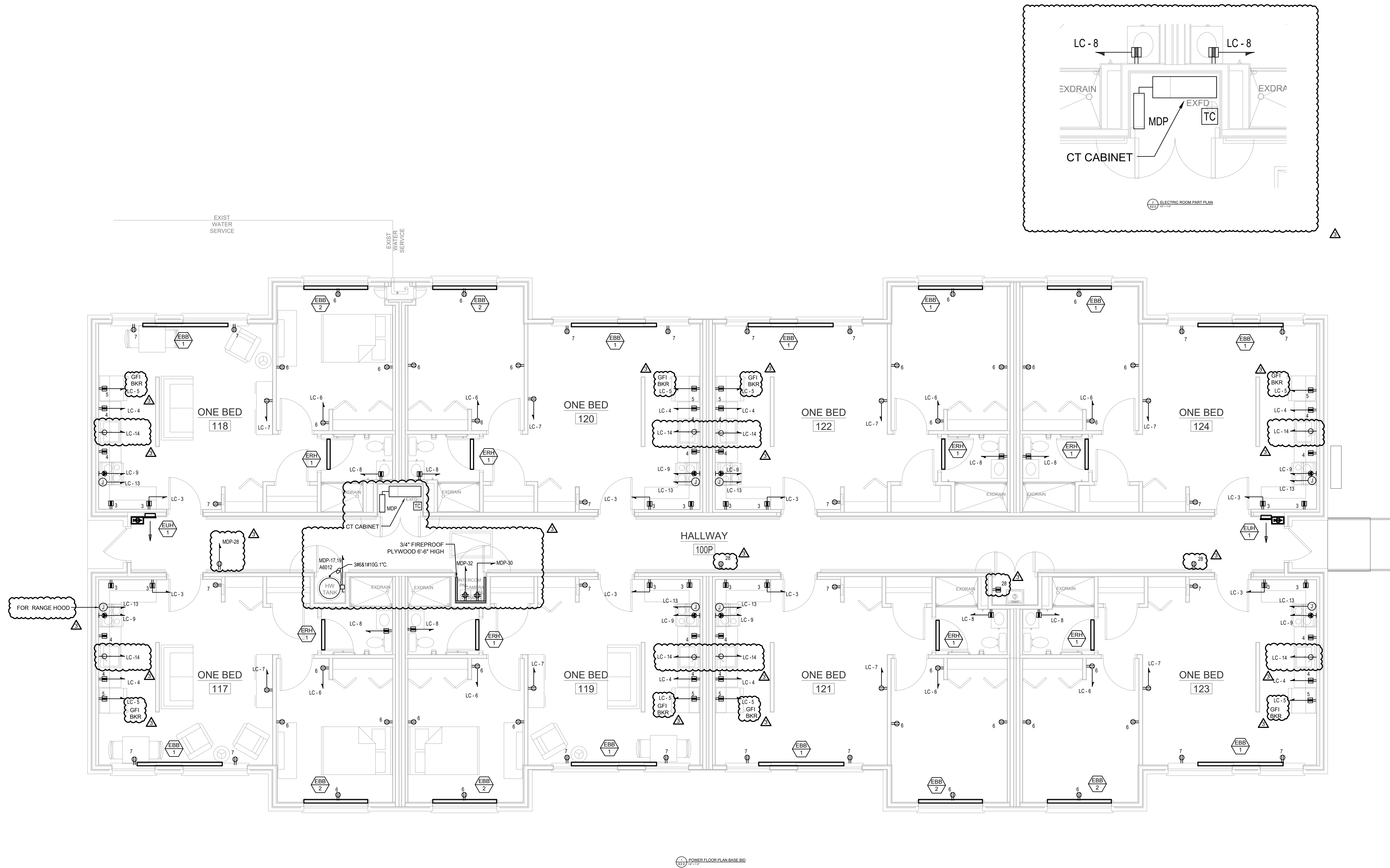
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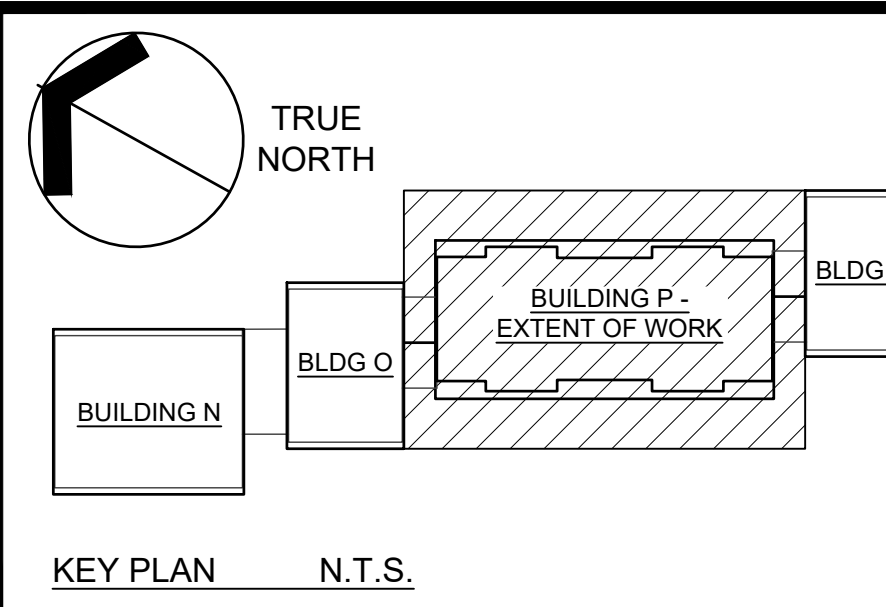
ELECTRICAL FLOOR
PLAN ALTERNATE -
LIGHTING

E1.1



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BASE FLOOR PLAN BASE BID



KEY PLAN N.T.S.

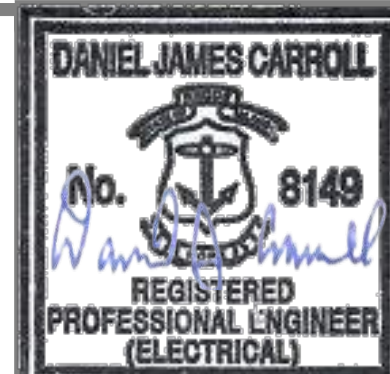
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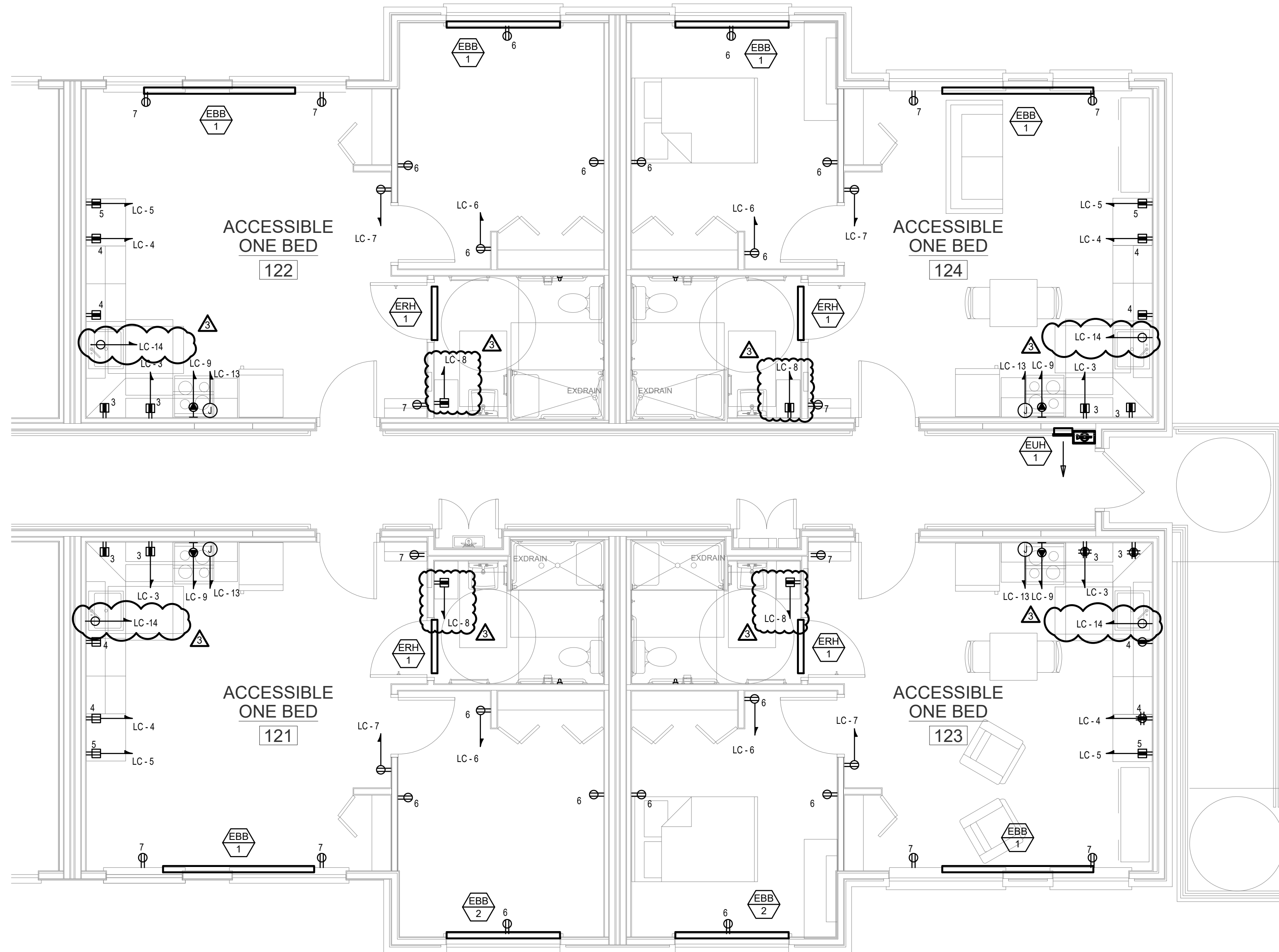
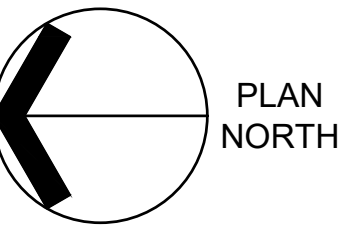
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PLAN BASE BID -
POWER

E2.0

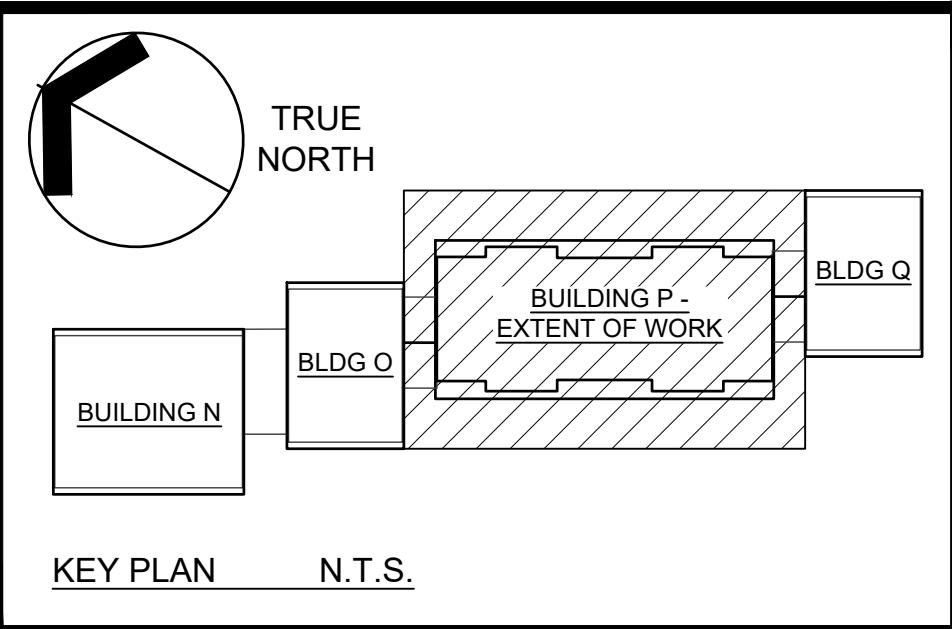
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BER #26095



WAITING FLOOR PLAN ALTERNATE



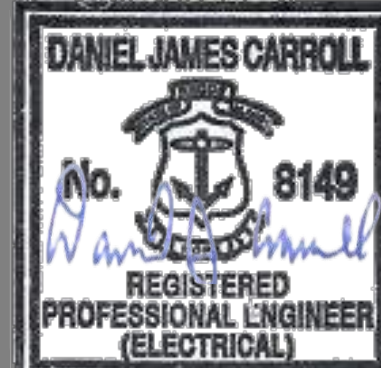
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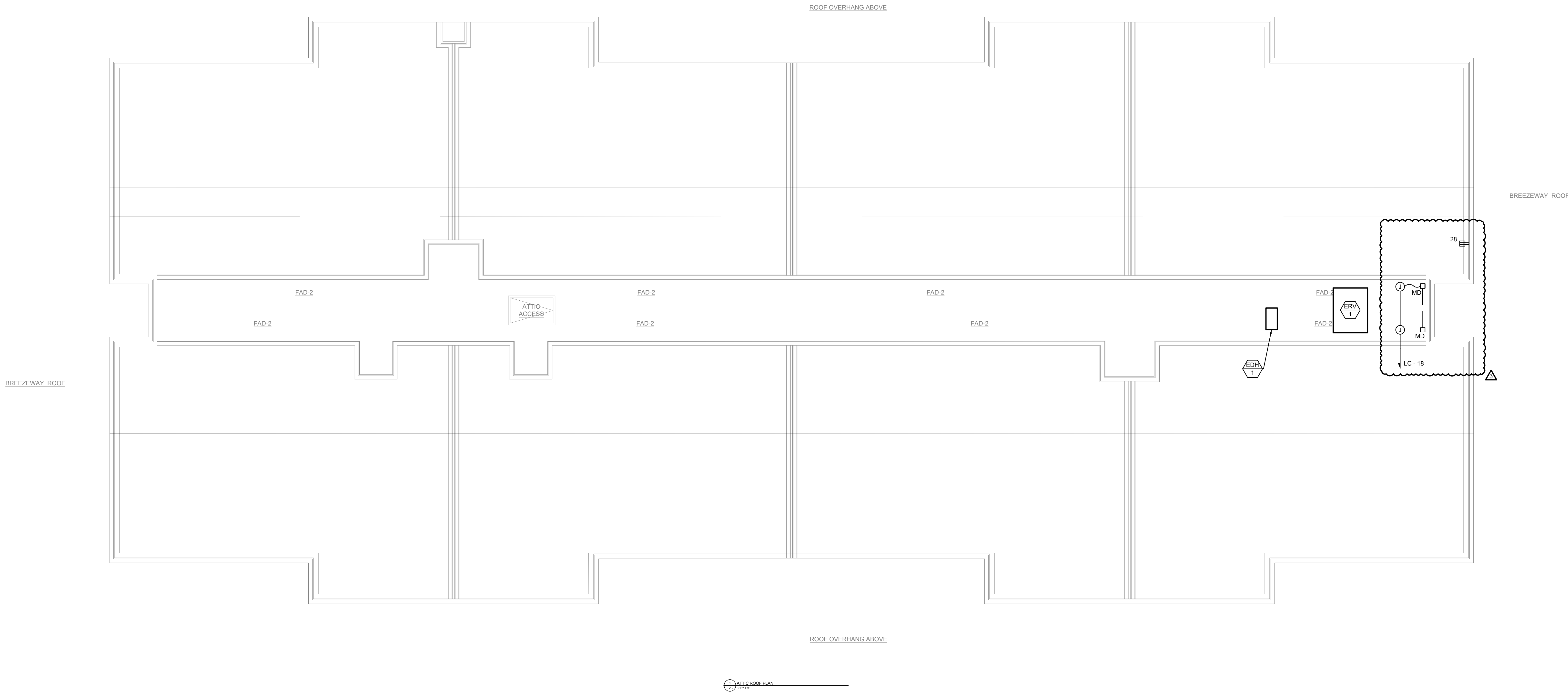
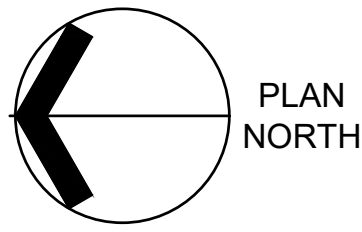
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PLAN ALTERNATE -
POWER

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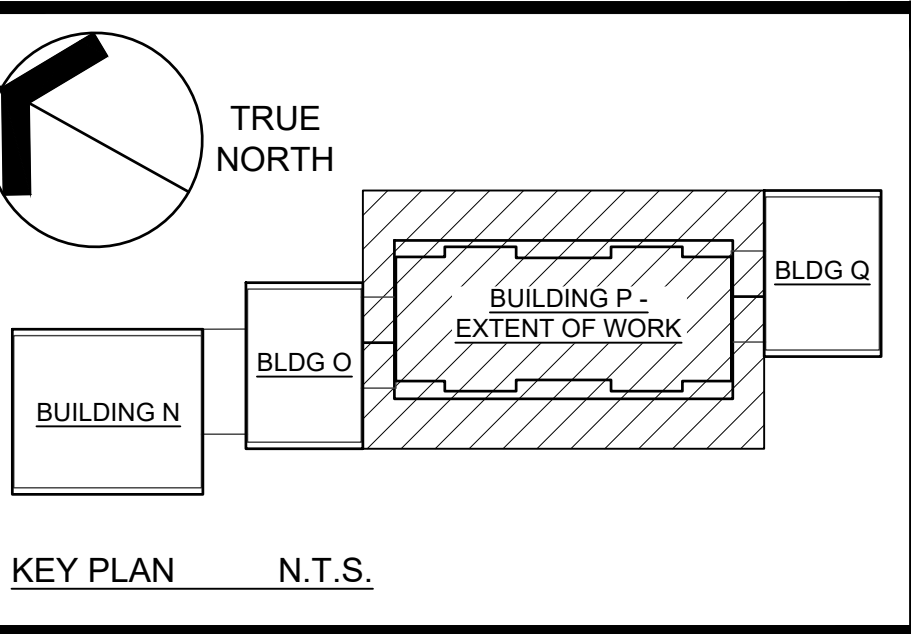
260078-E10X

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BER #26085



ATTIC ROOF PLAN
1 of 10



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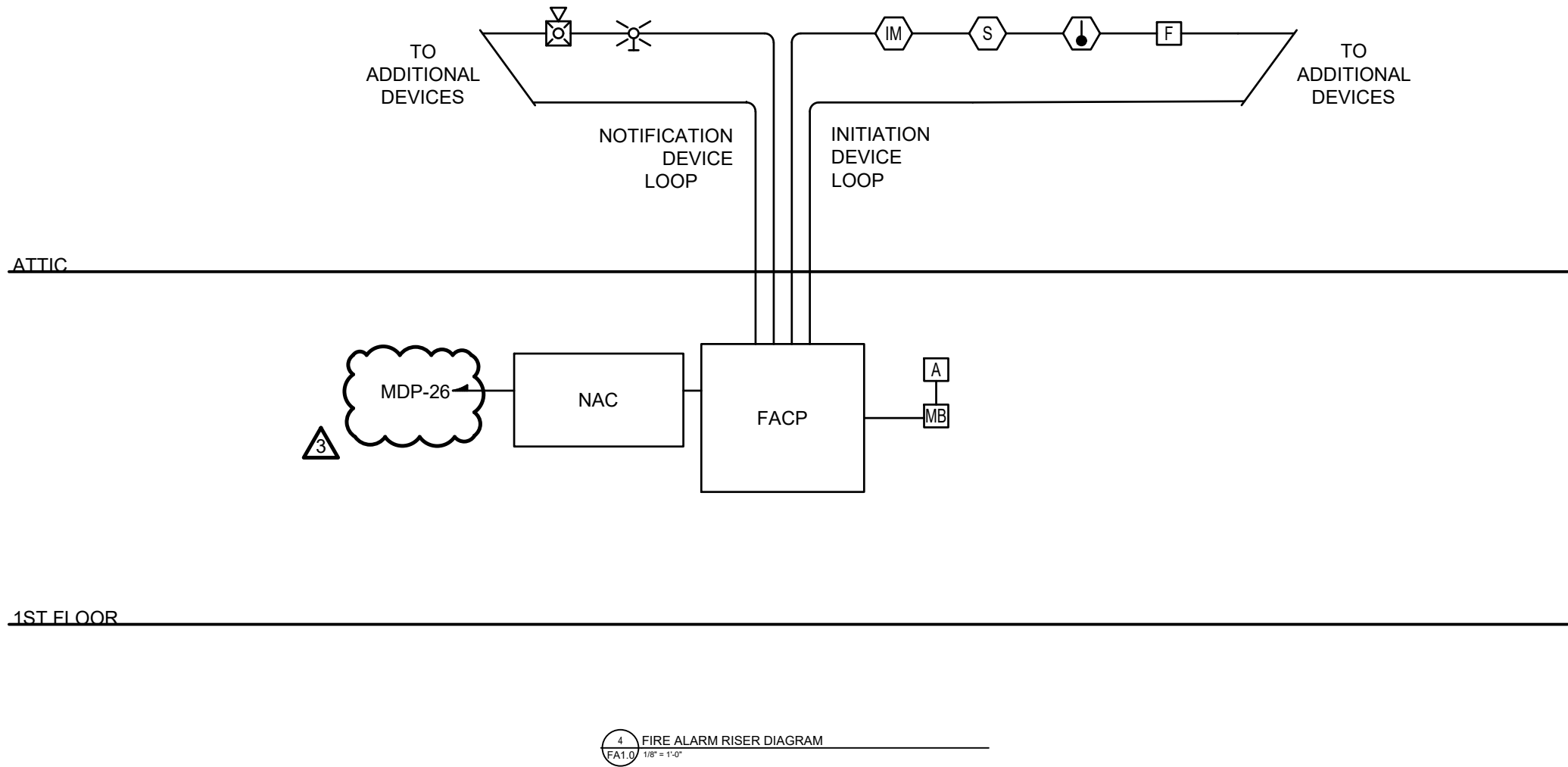
ELECTRICAL ROOF PLAN -
POWER

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BER #26085



FIRE ALARM RISER NOTES:

1. REFER TO FLOOR PLAN FOR EXACT QUANTITIES AND LOCATIONS OF ALL DEVICES.
2. THE FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF THE RHODE ISLAND FIRE SAFETY CODE. SHOP DRAWINGS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL.
3. ALL FIRE ALARM WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF NFPA, STATE, AND LOCAL BUILDING CODES AND THE AMERICANS WITH DISABILITIES ACT (ADA).
4. PROVIDE REMOTE BOOSTER POWER SUPPLY PANELS AS REQUIRED.
5. PROVIDE FAULT ISOLATION MODULES ON THE SIGNAL LINE CIRCUIT TO PROTECT THE SYSTEM FROM LINE TO LINE FAULTS. MODULES SHALL BE PROVIDED AS REQUIRED, WITH A MINIMUM OF (1) MODULE PER EVERY 25 DEVICES.

FIRE ALARM SYSTEM

FIRE ALARM SYSTEM:
ALL NOTIFICATION DEVICES SHALL BE MOUNTED 80" AFF, UNLESS OTHERWISE NOTED. THE FOLLOWING DESIGNATIONS SHALL APPLY TO ALL FIRE ALARM DEVICES:

- AC = ABOVE CEILING
C = CEILING MOUNTED
LF = LOW FREQUENCY
WG = WIRE GUARD
WP = WEATHERPROOF
- [F] MANUAL PULL STATION, MOUNTED 48" AFF
[K] ACCESS FEATURE-FIRE DEPARTMENT KEY REPOSITORY.
[A] RADIO MASTER BOX ANTENNA, MOUNT AT HIGHEST POINT ON BUILDING EXTERIOR.
- [BATT] BATTERY CABINET
[FACP] FIRE ALARM CONTROL PANEL
[FAAC] FIRE ALARM AS-BUILT CABINET
[NAC] NOTIFICATION APPLIANCE CIRCUIT POWER SUPPLY SIZE PER MANUFACTURERS SYSTEM CALCULATIONS
- [S] SMOKE DETECTOR/SENSOR - BASIC SHAPE ORIENTATION NOT TO BE CHANGED.
[H] HEAT DETECTOR/SENSOR - BASIC SHAPE ORIENTATION NOT TO BE CHANGED.
[F] HEAT DETECTOR/SENSOR, FIXED TEMPERATURE (190°) F.
- 150d
[T] COMBINATION HORN/VISIBLE
[CD] CANDELA RATING/SETTING
- [NO] ADDRESSABLE INPUT/OUTPUT MODULE. # DENOTES NUMBER OF INPUTS AND OUTPUTS.

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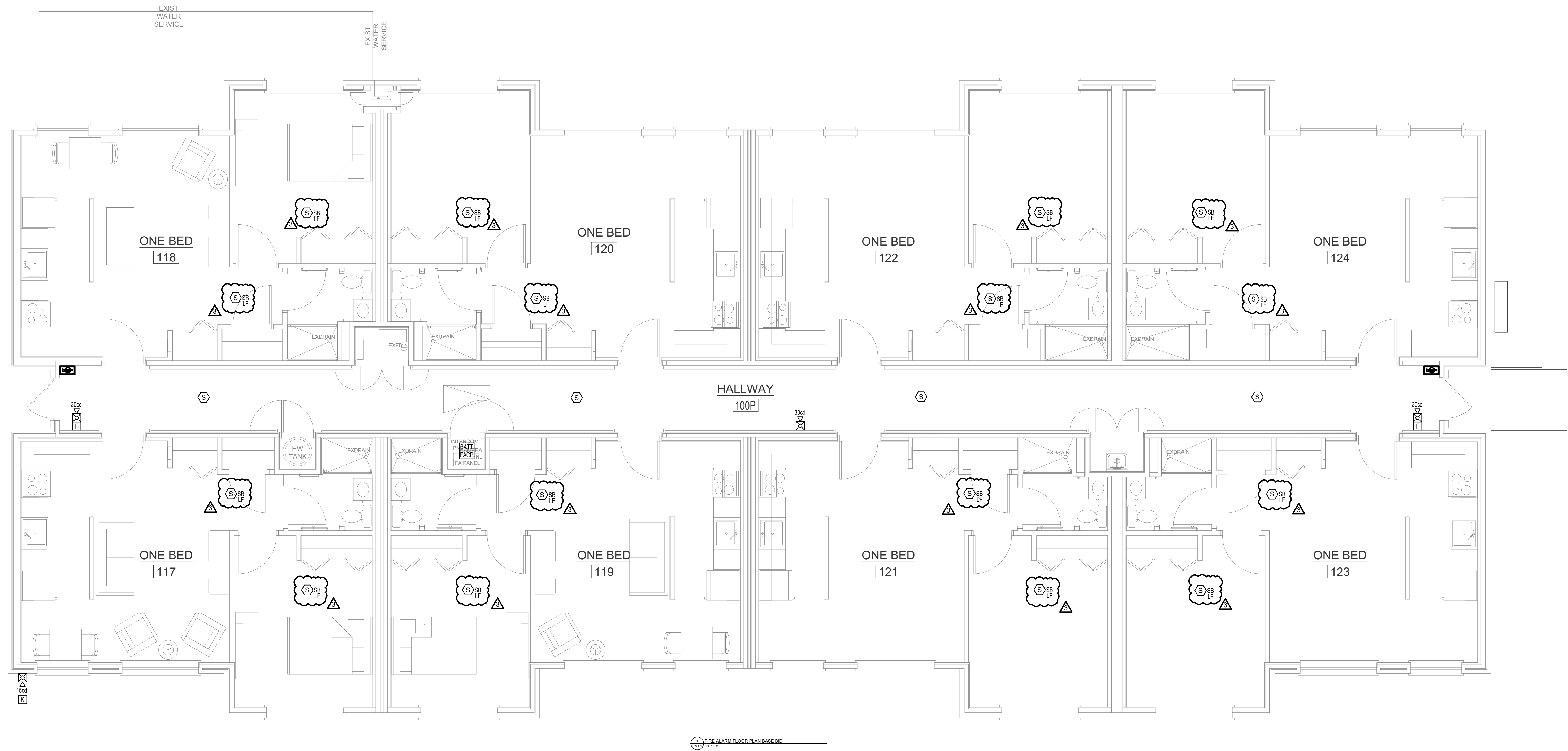
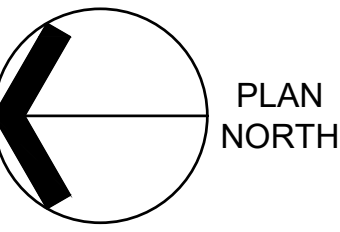
**ELECTRICAL LEGEND &
RISER DIAGRAM - FIRE
ALARM**

FA1.0

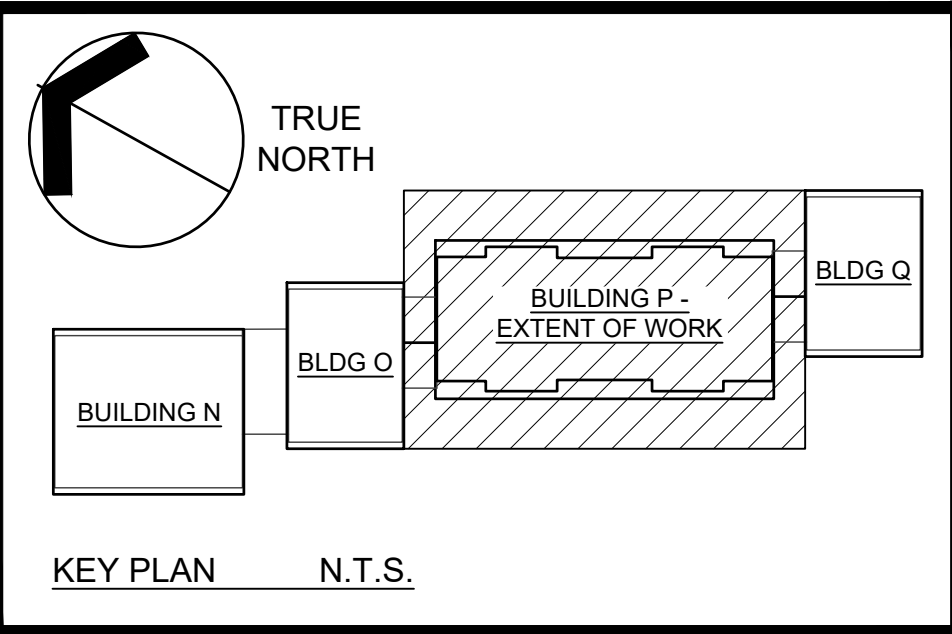
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BER #26095



FIRE ALARM FLOOR PLAN BASE BID



- GENERAL NOTES**
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 - THE BUILDING WILL BE OCCUPIED DURING ALL OF THE CONSTRUCTION PROCESS. THE CONSTRUCTION SCHEDULE SHALL BE DEVELOPED WITH THE UNDERSTANDING THAT THE BUILDING IS OCCUPIED AND THAT IT CAN NEITHER BE CLOSED NOR CAN THE OWNER'S OPERATIONS STOP.



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Date: JULY 6, 2026		
Drawn by: DC Proj. Mgr.: ARV		
Revisions		
No.	Date	Description
Δ	07-24-2026	ADDENDUM #3

Lincoln Manor
Building P - Renovations



Lincoln Housing Authority
Lincoln Manor (Main Office)
10 Franklin Street Lincoln, Rhode Island

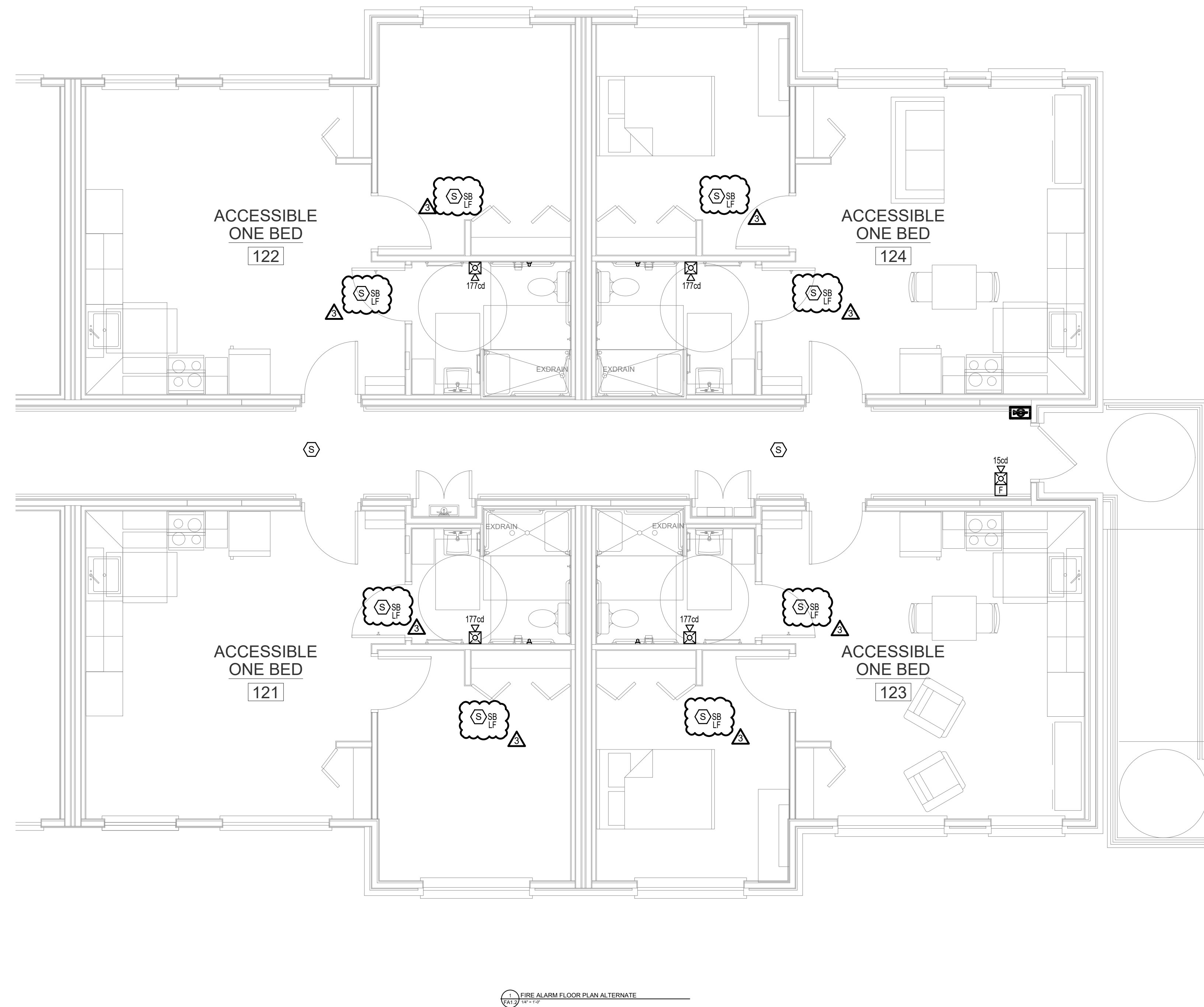
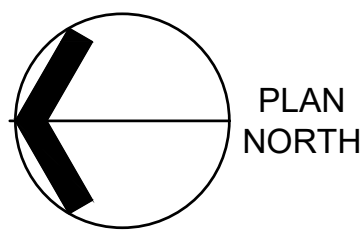
ELECTRICAL FLOOR PLAN
BASE BID - FIRE ALARM

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BER #26095



177-01 FIRE ALARM FLOOR PLAN ALTERNATE

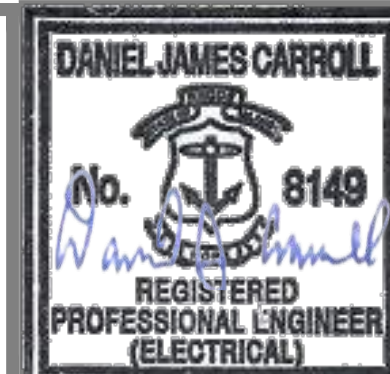
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Revisions

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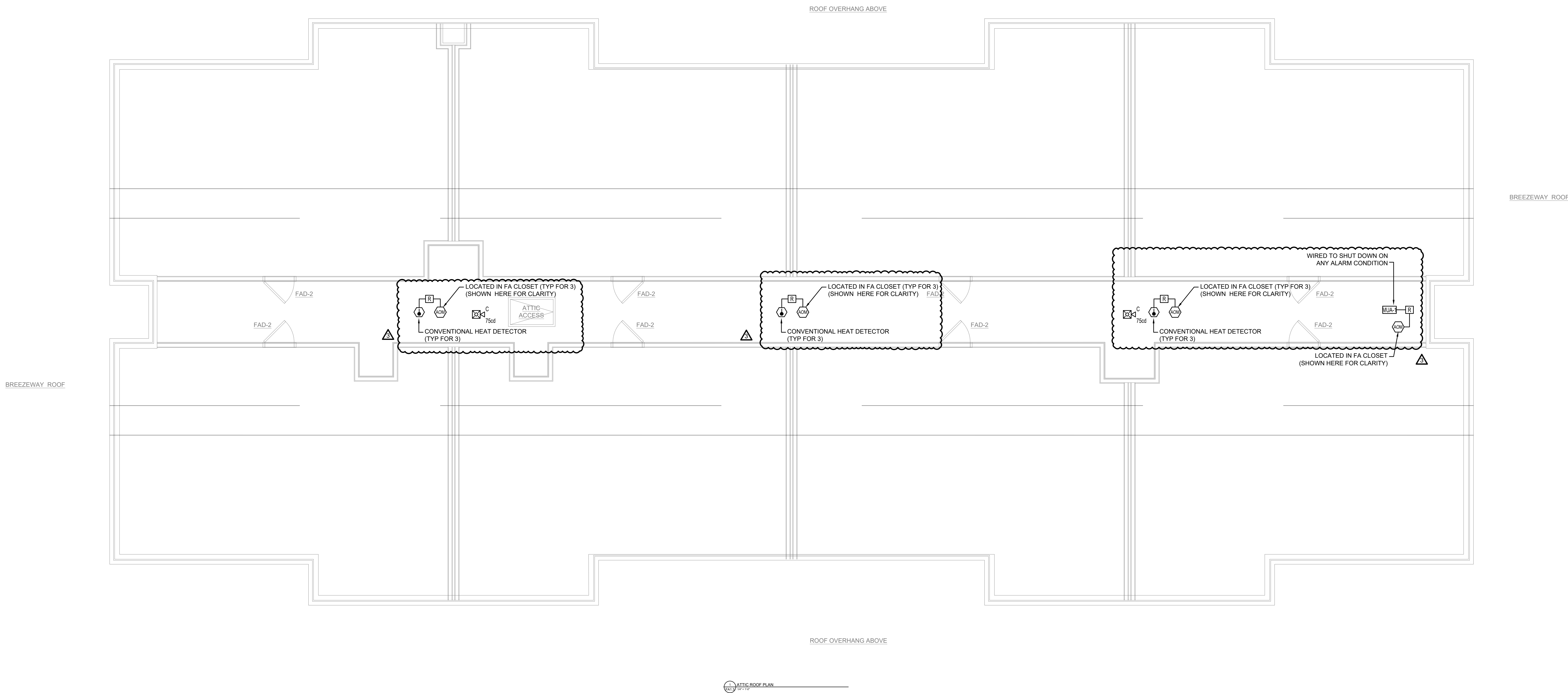
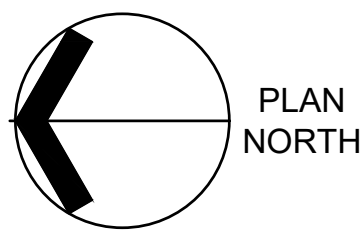
ELECTRICAL FLOOR PLAN
ALTERNATE - FIRE ALARM

FA1.2

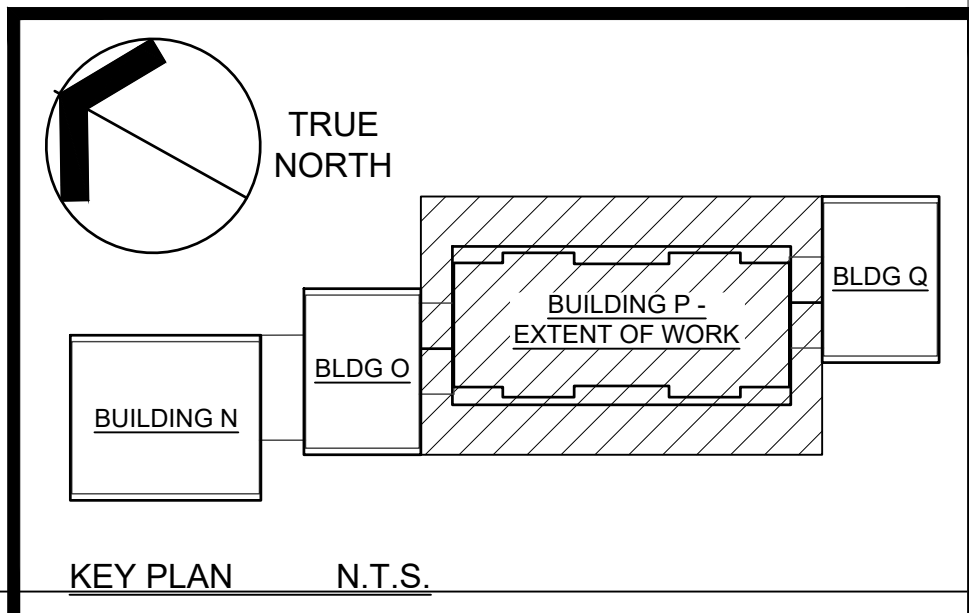
2007B-FA1.0.X

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BER #26095



ATTIC ROOF PLAN
1/8" = 1'-0"

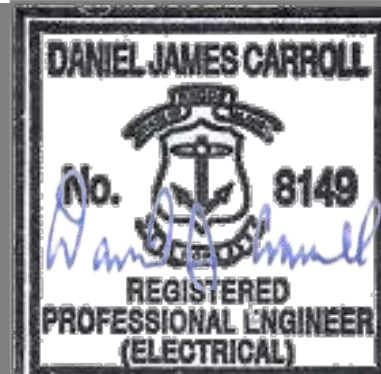


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ELECTRICAL ATTIC PLAN -
FIRE ALARM

FA1.3

2007B-FA1.0.X

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BER #26085